

**Basketball Court  
Details**

**CAD to 3D BIM  
Model**

# **CAD TO BIM CATALOG**

**From concept to construction-ready BIM models, we deliver accuracy, clarity, and coordination.**

# Service Overview

CAD to BIM is a documentation-to-intelligence transformation process that converts 2D CAD drawings into structured, parametric BIM models capable of supporting coordination, detailing, and construction-driven workflows.

Unlike Scan to BIM, which captures existing physical conditions, CAD to BIM is driven by design documentation, consultant intent, and drafting logic. The objective is not to replicate reality, but to translate drawing-based information into a coordinated digital model that can evolve with the project.

Our CAD to BIM services support projects transitioning from traditional drafting environments to BIM-enabled delivery, covering design development (LOD 200–300), construction coordination (LOD 400), and record-model updates (LOD 500).

## What We Do

Our CAD to BIM workflow focuses on interpreting design documentation and reconstructing it into an intelligent BIM environment.

We begin by auditing CAD drawings to understand drawing hierarchy, layering standards, reference consistency, and inter-discipline dependencies. Linework, symbols, and annotations are analyzed to extract dimensional intent, system layouts, and construction logic.

Based on this analysis, BIM models are developed using parametric elements, rule-based modeling practices, and discipline-specific standards. Particular attention is given to alignment between architectural, structural, and MEP drawings to eliminate conflicts that typically remain hidden in 2D environments.

Rather than modeling what exists on site, CAD to BIM focuses on what is intended to be built, making it ideal for coordination, drawing production, and construction planning.



# CAD to BIM Modeling Scope

Our CAD to BIM services typically include:

- Technical audit and structuring of CAD inputs
- Interpretation of plans, sections, elevations, and details
- Reconstruction of design intent into BIM geometry
- Architectural, structural, and MEP BIM modeling as defined in scope
- Parametric Revit model development aligned with BIM standards
- Multi-discipline coordination readiness
- BIM-based drawing extraction, schedules, and quantities

## Key Benefits to Stakeholders

Clients engaging our CAD to BIM services gain:

- Clear migration from 2D drafting to BIM workflows
- Improved coordination compared to CAD-based documentation
- Reduced design ambiguity and drawing conflicts
- Faster revisions and drawing updates
- BIM-ready data for construction planning and handover

## Why Choose Us

- **Drawing Interpretation Expertise:** Strong ability to decode complex CAD documentation
- **BIM Structuring Capability:** Models built for coordination, not just visualization
- **Discipline Alignment:** Consistent integration across architecture, structure, and MEP
- **Scalable Delivery:** Suitable for pilot BIM adoption or full-project conversion

# Accuracy & LOD Approach

Our CAD to BIM process aligns BIM development with drawing maturity:

- LOD 200: Design-based massing, layouts, and preliminary system representation
- LOD 300: Fully coordinated element sizes, locations, and interfaces
- LOD 400: Construction-supportive detailing for coordination and execution
- LOD 500: Record BIM models updated to reflect issued-for-construction changes

This approach allows the BIM model to mature alongside the project without relying on site scans or deviation analysis.

## Applications of CAD to BIM



Our CAD to BIM services are best suited for:

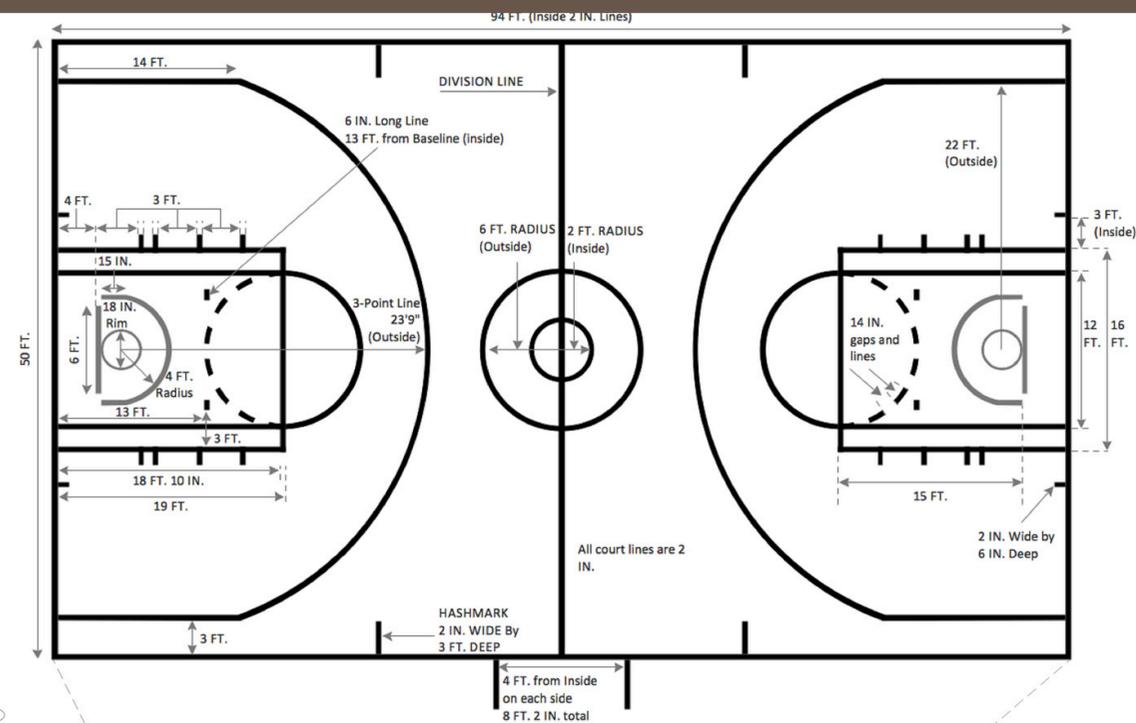
- Projects migrating from CAD-based delivery to BIM
- Design coordination before construction start
- Contractor-led BIM adoption on ongoing projects
- Quantity extraction and planning from legacy drawings
- Creating a BIM foundation for future project phases

Each CAD to BIM deliverable is positioned as a design-document-driven BIM model, fundamentally different from scan-based existing-condition modeling and tailored for coordination, documentation, and construction enablement.

# CAD to BIM Modeling

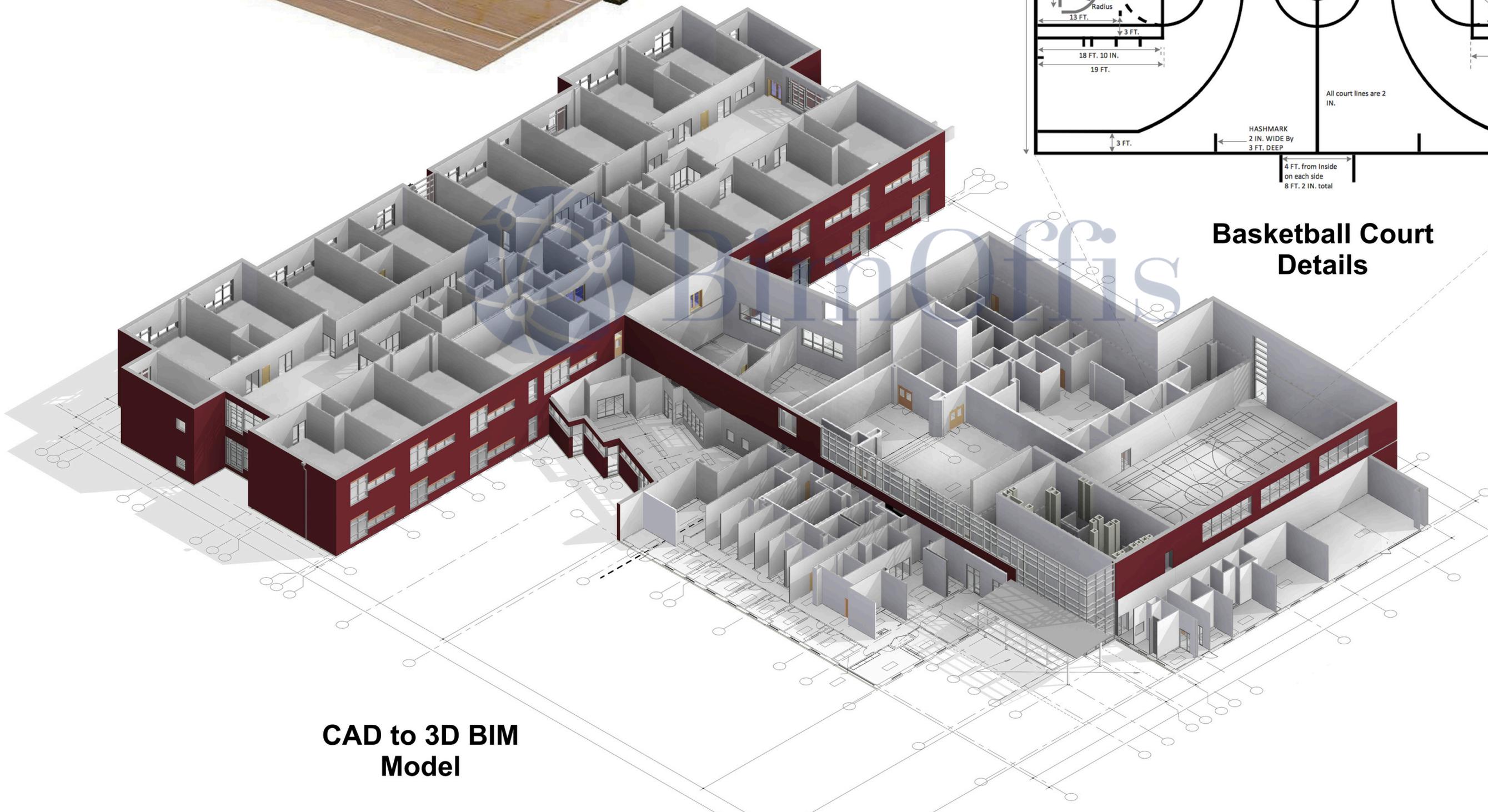
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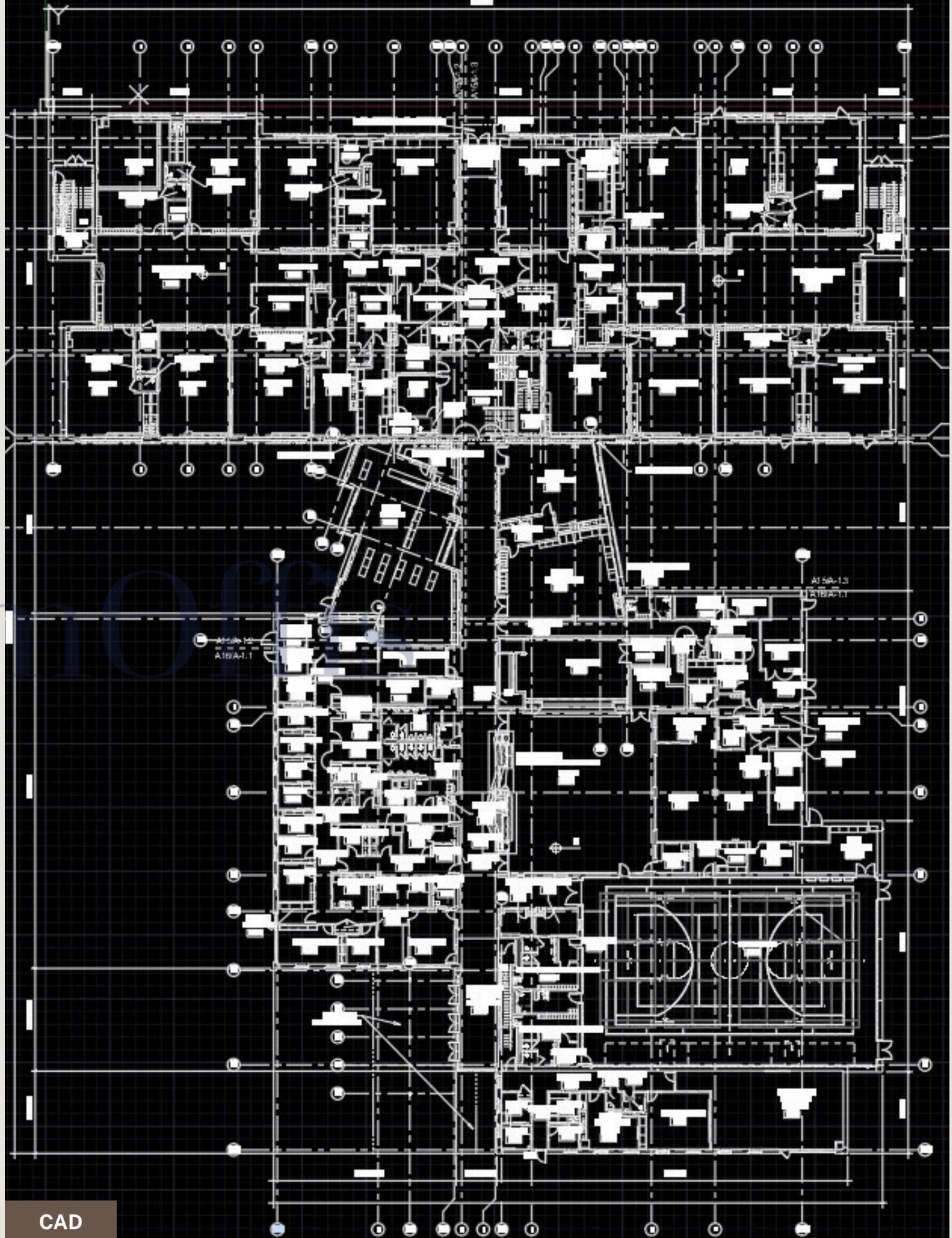
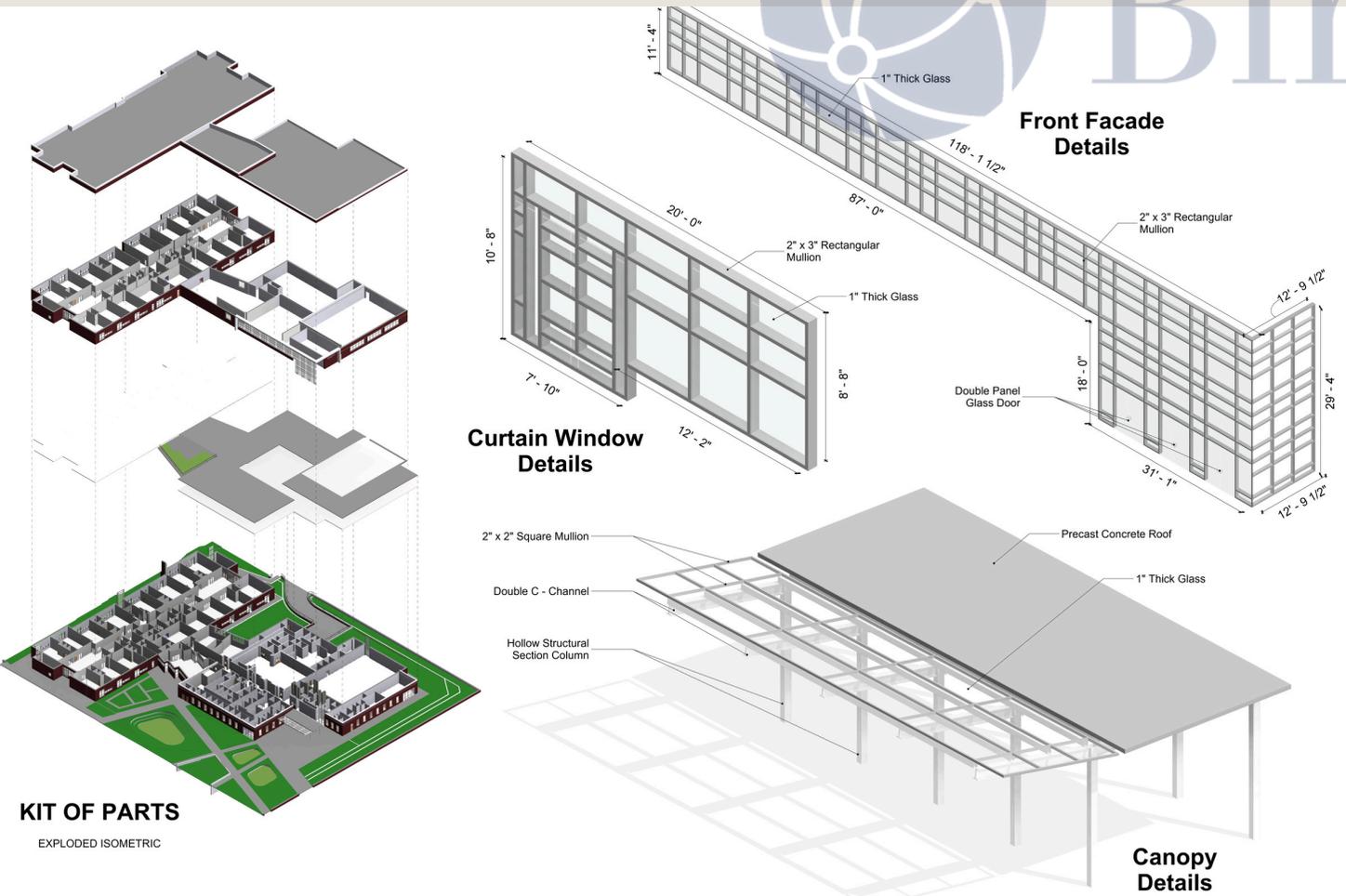
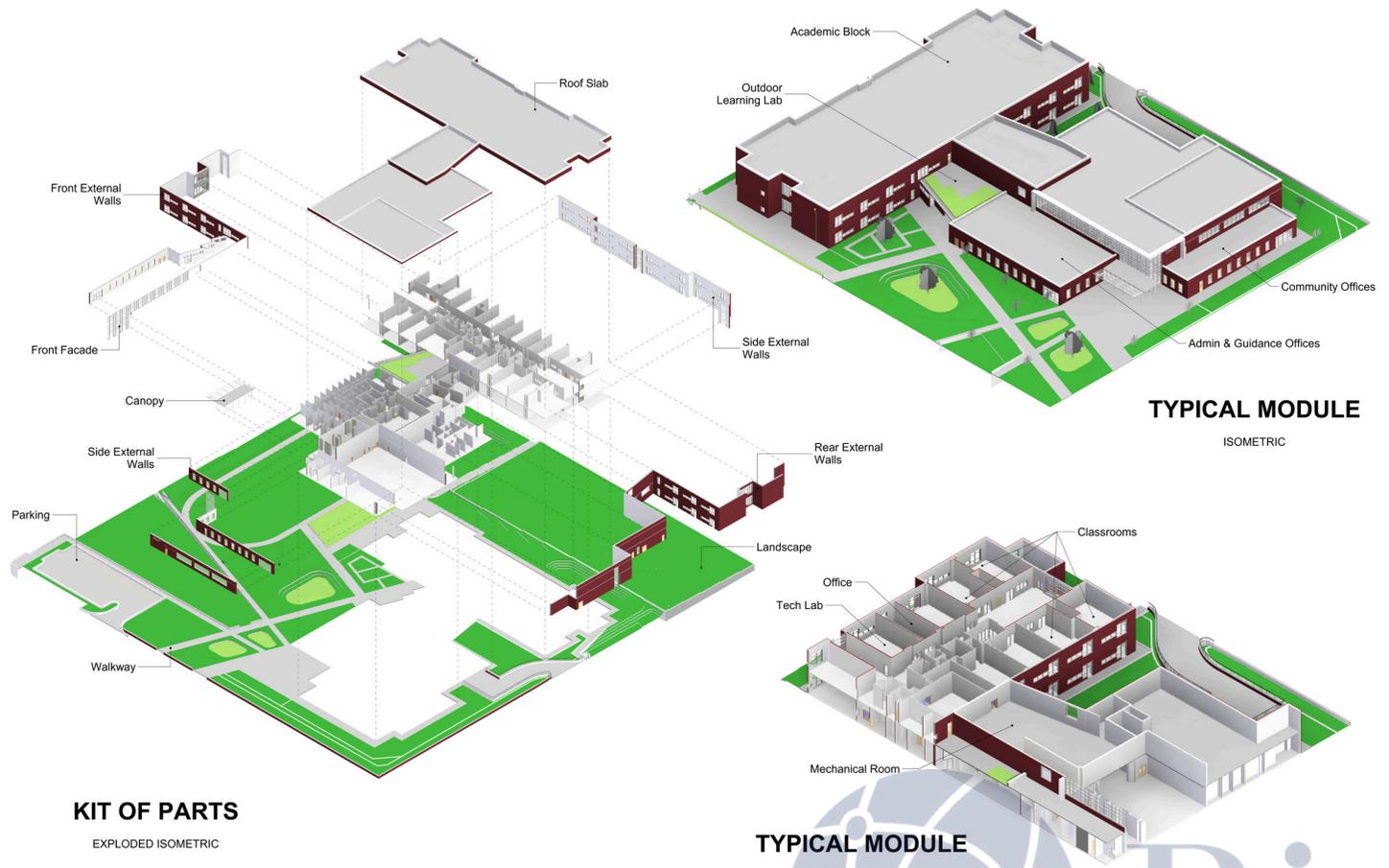
### Basketball Court 3D Model



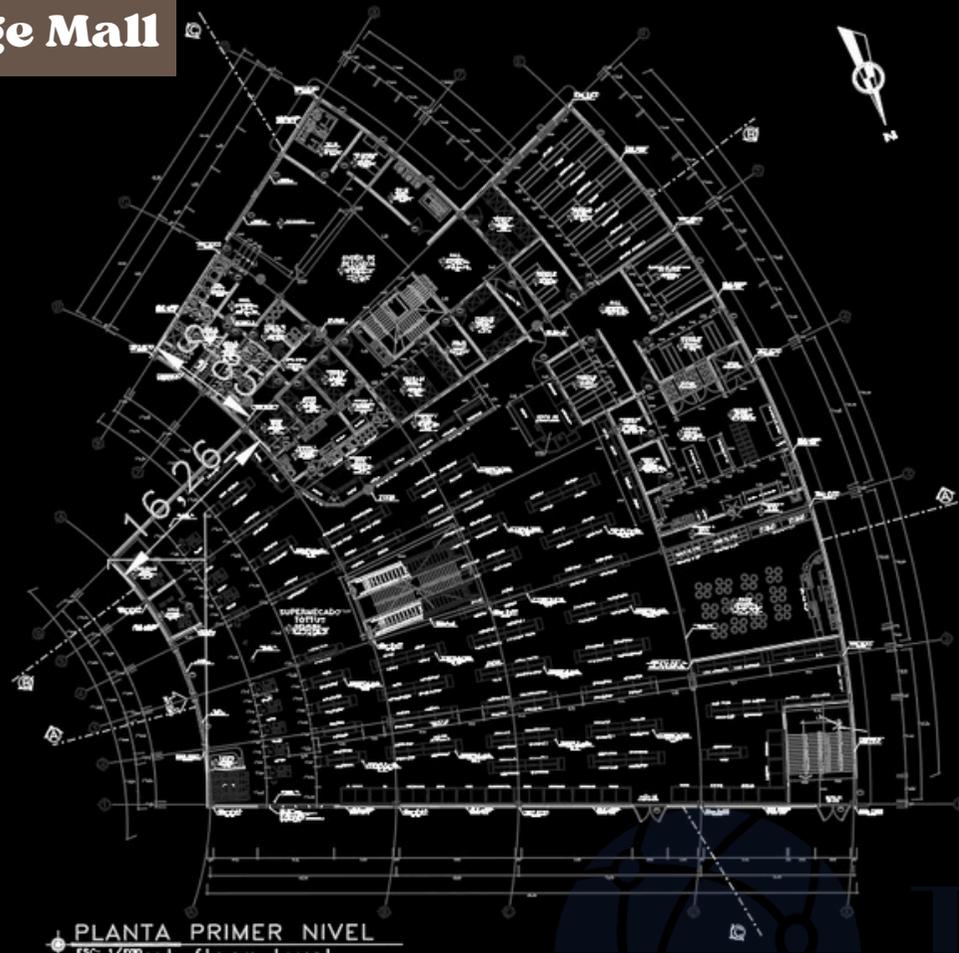
### Basketball Court Details

### CAD to 3D BIM Model



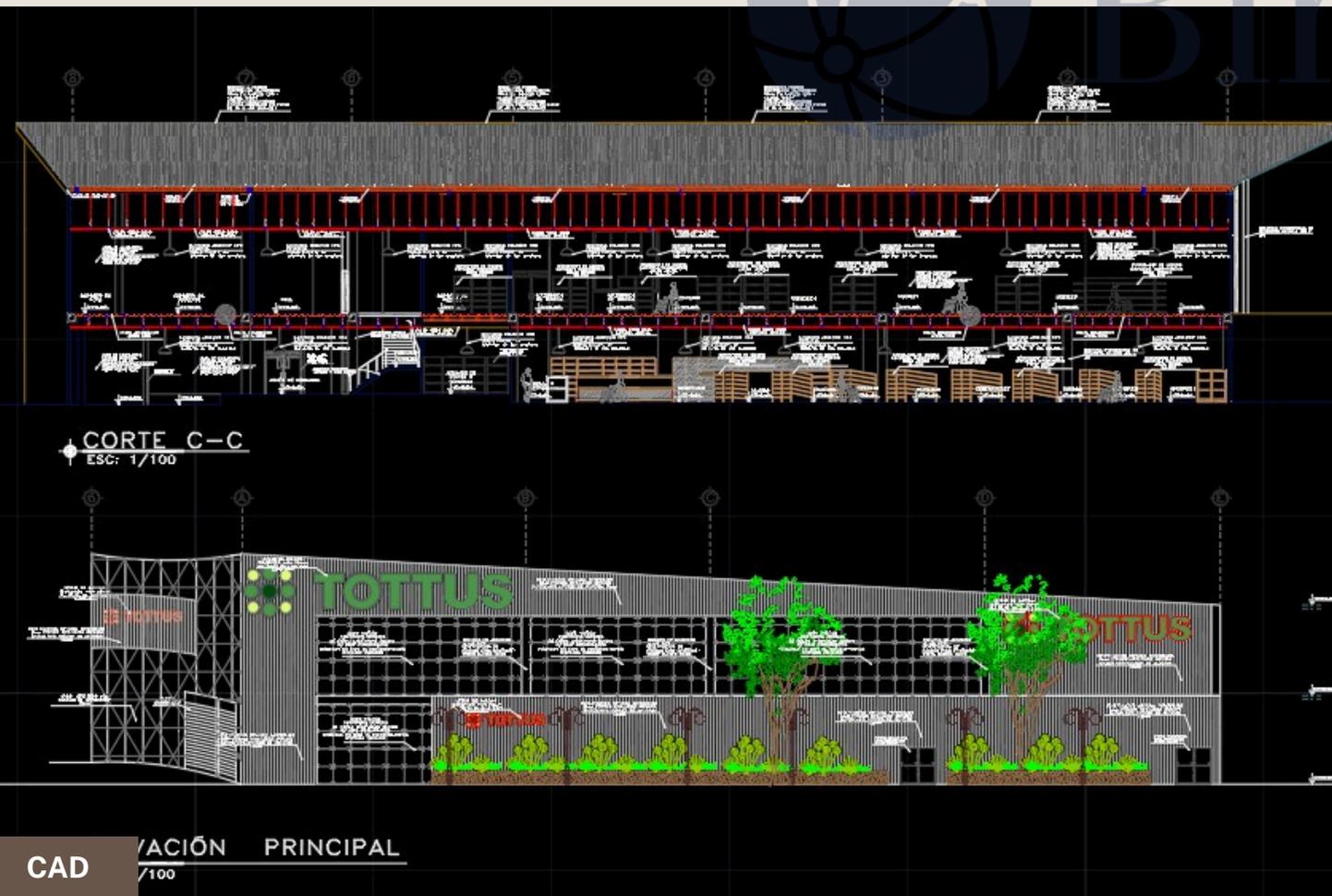


## 2. Signage Mall



CAD

PLANTA PRIMER NIVEL

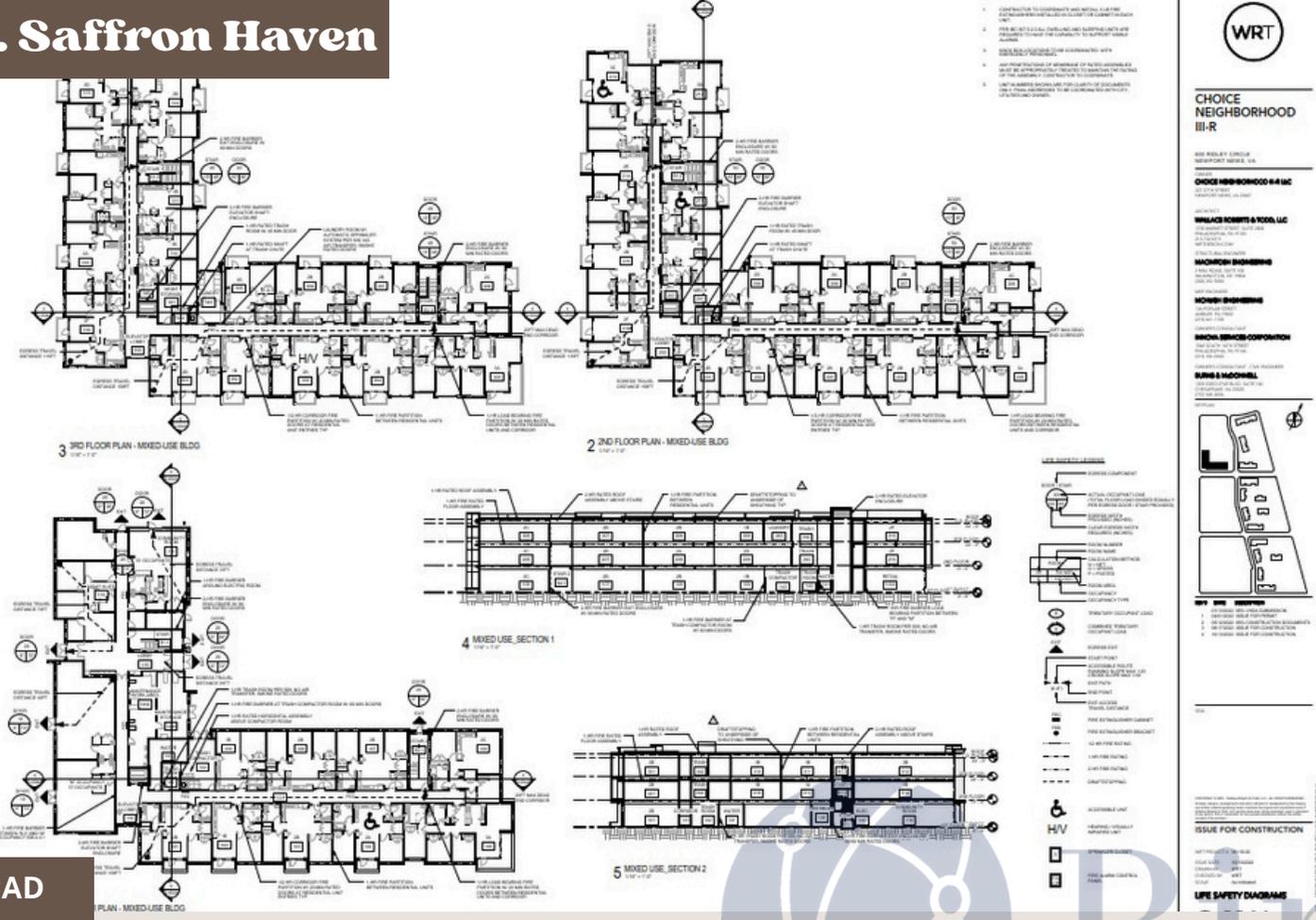


CAD

ACCIÓN PRINCIPAL  
/100

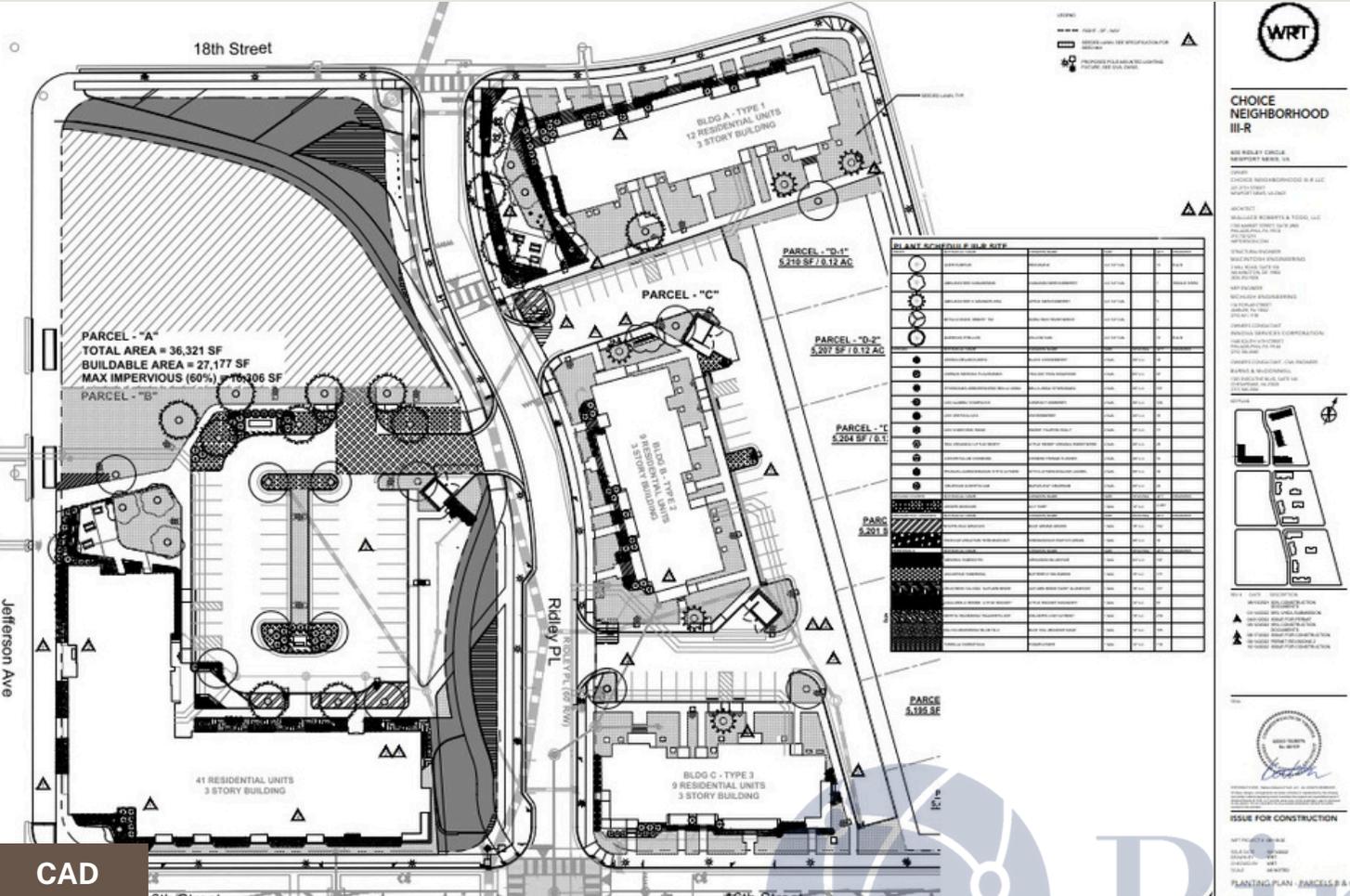


# 3. Saffron Haven



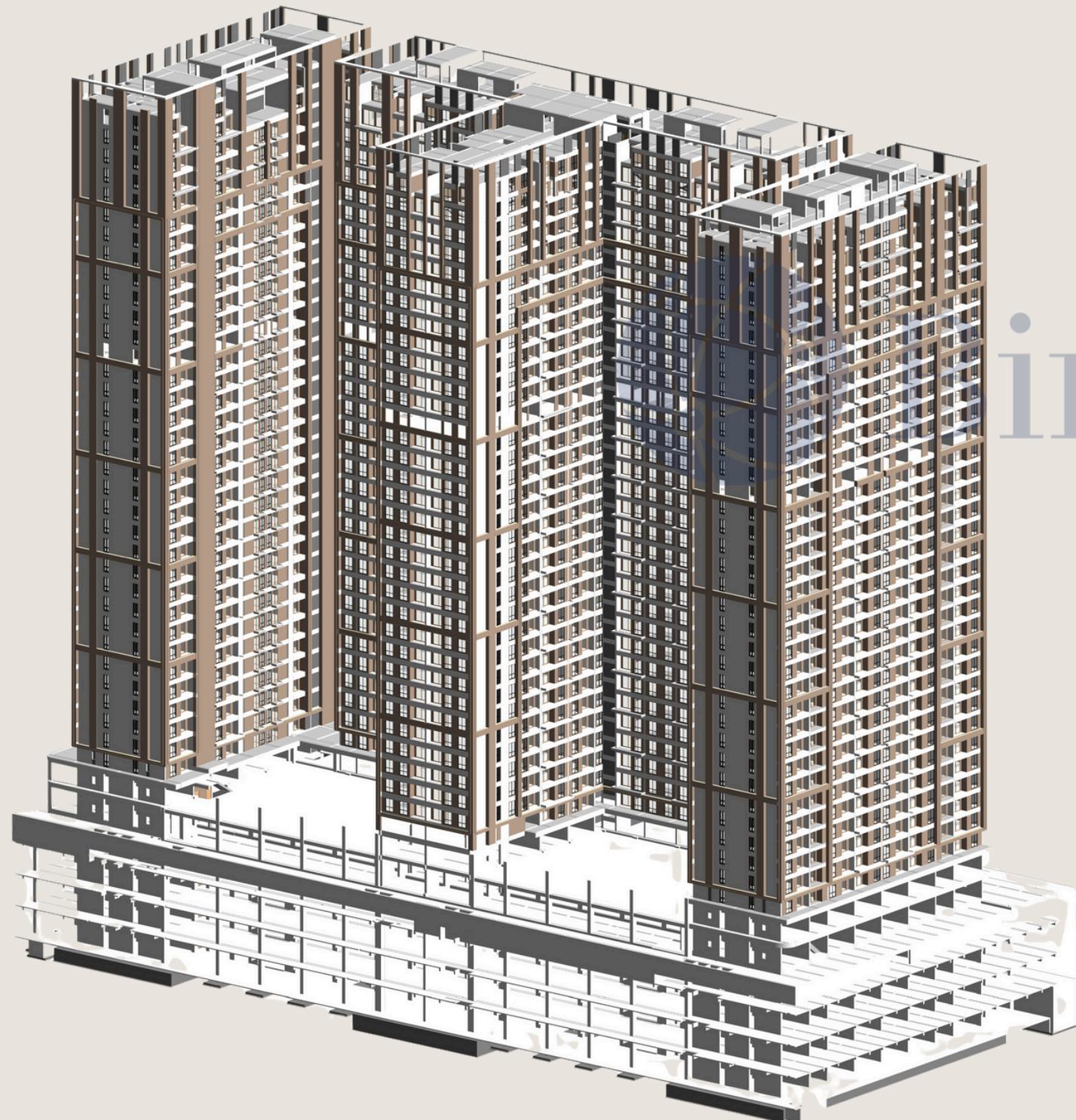
CAD





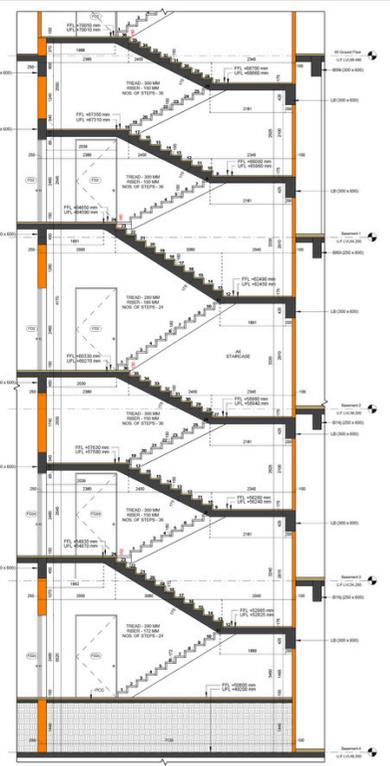
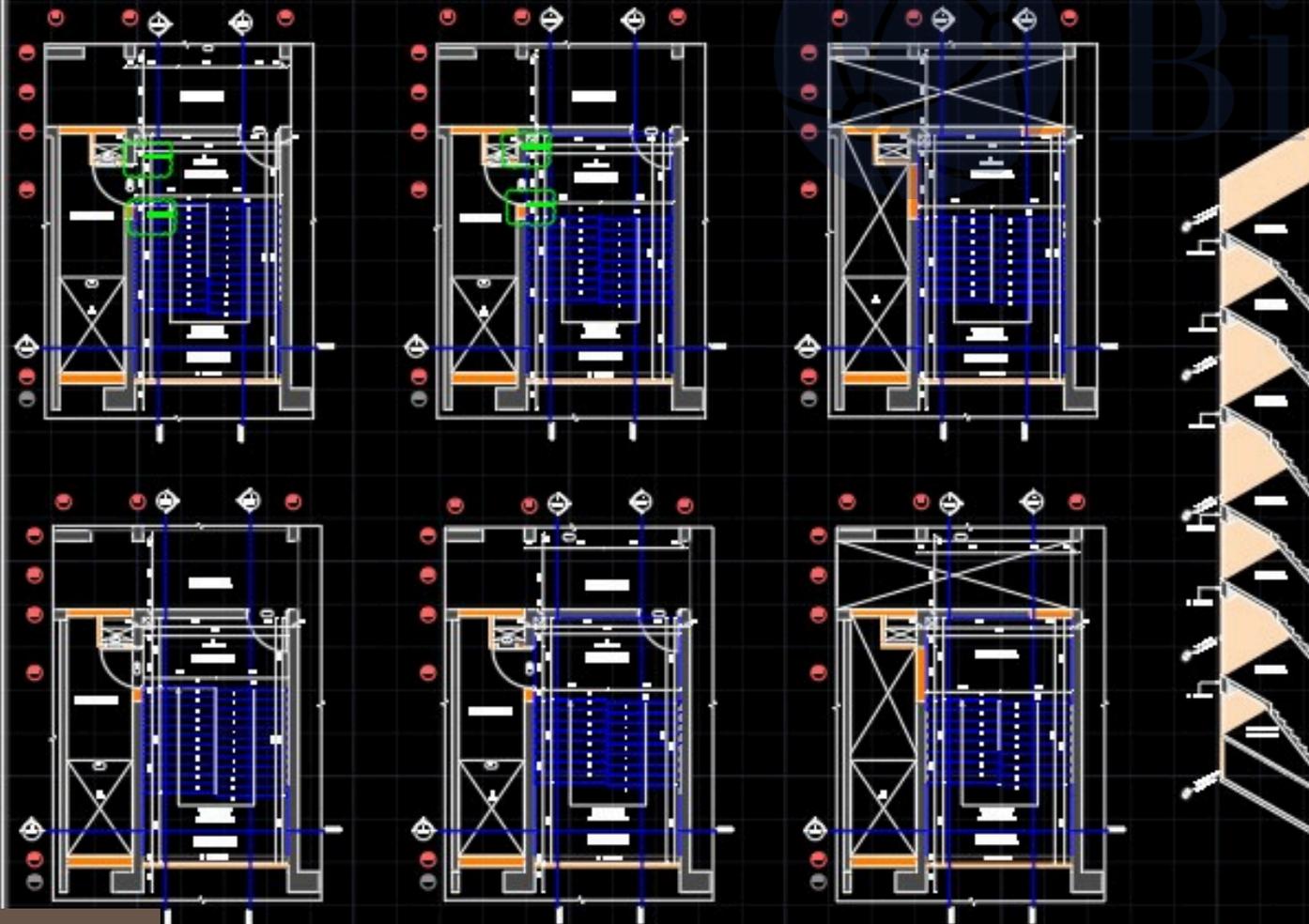
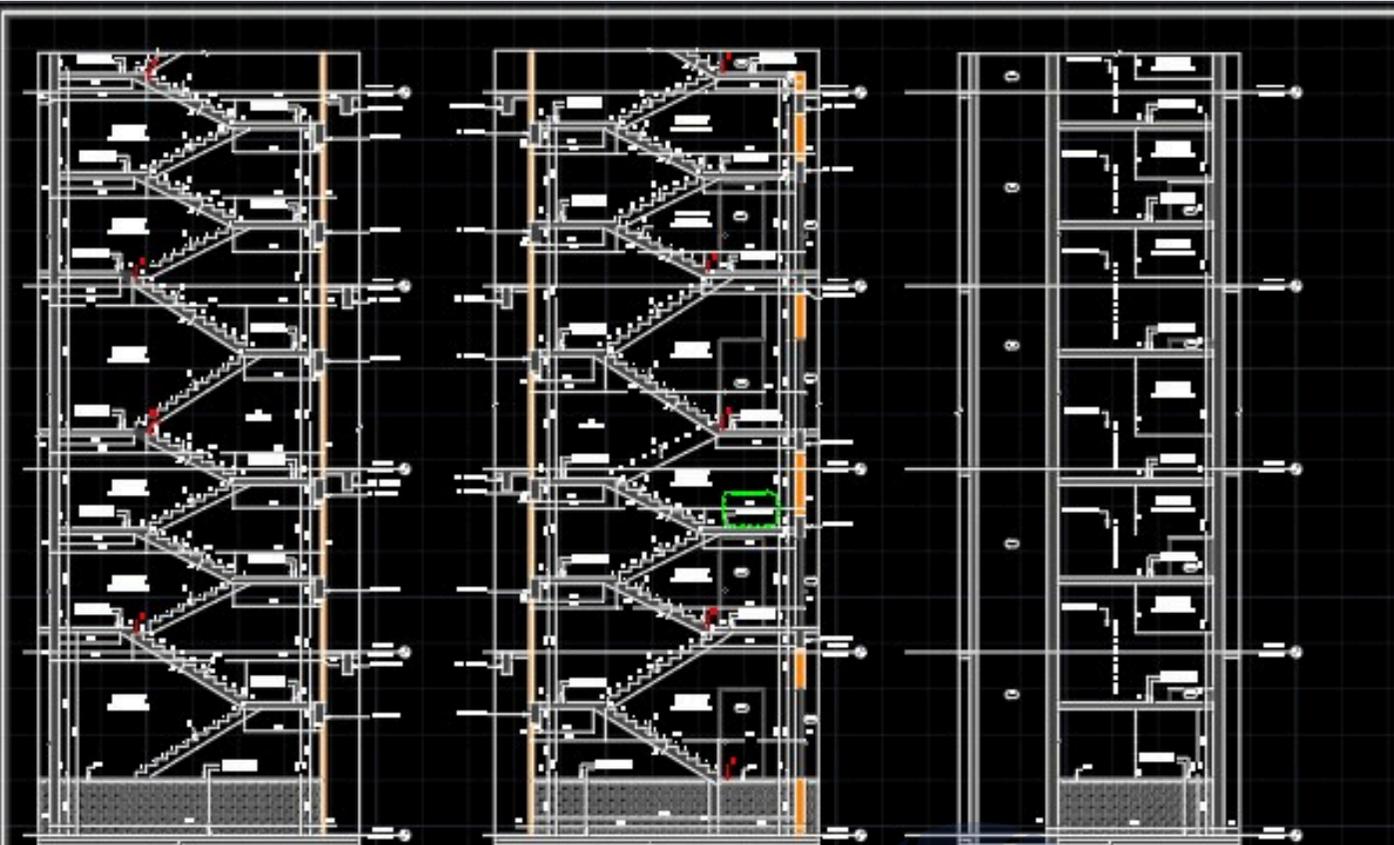
BimOffis

#### 4. Gift City

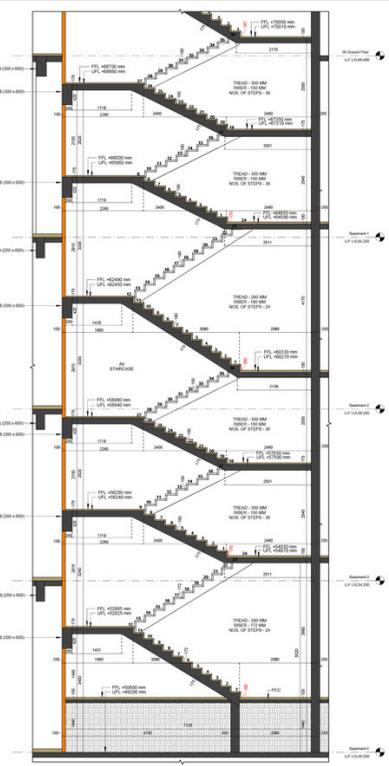


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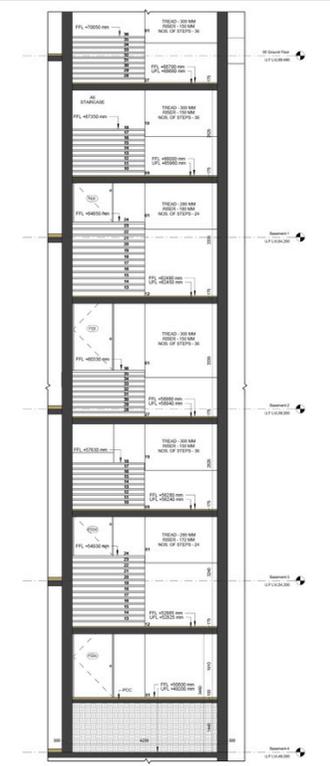




1 A6 STAIRCASE\_SECTION 01  
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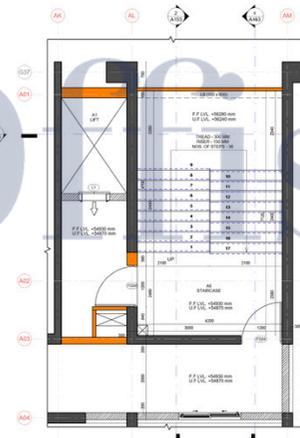
2 A6 STAIRCASE\_SECTION 02  
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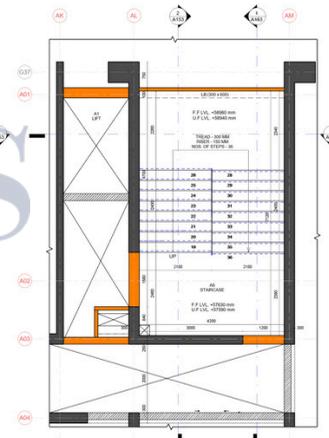
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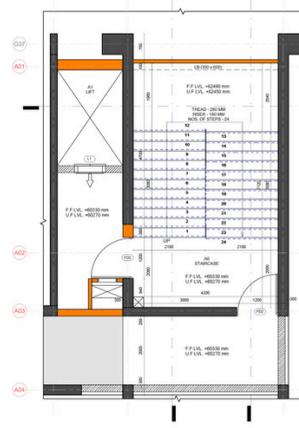
3 BASEMENT 4\_A6 STAIRCASE PLAN  
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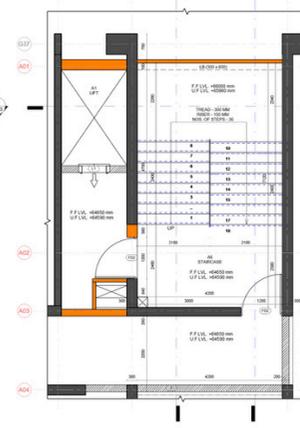
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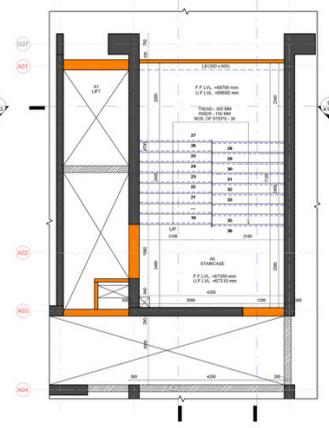
5 BASEMENT 3\_A6 STAIRCASE PLAN 02  
1:50



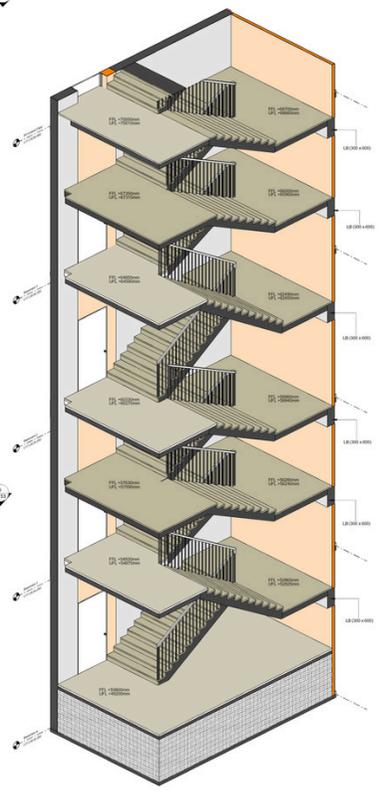
6 BASEMENT 2\_A6 STAIRCASE PLAN  
1:50



7 BASEMENT 1\_A6 STAIRCASE PLAN  
1:50



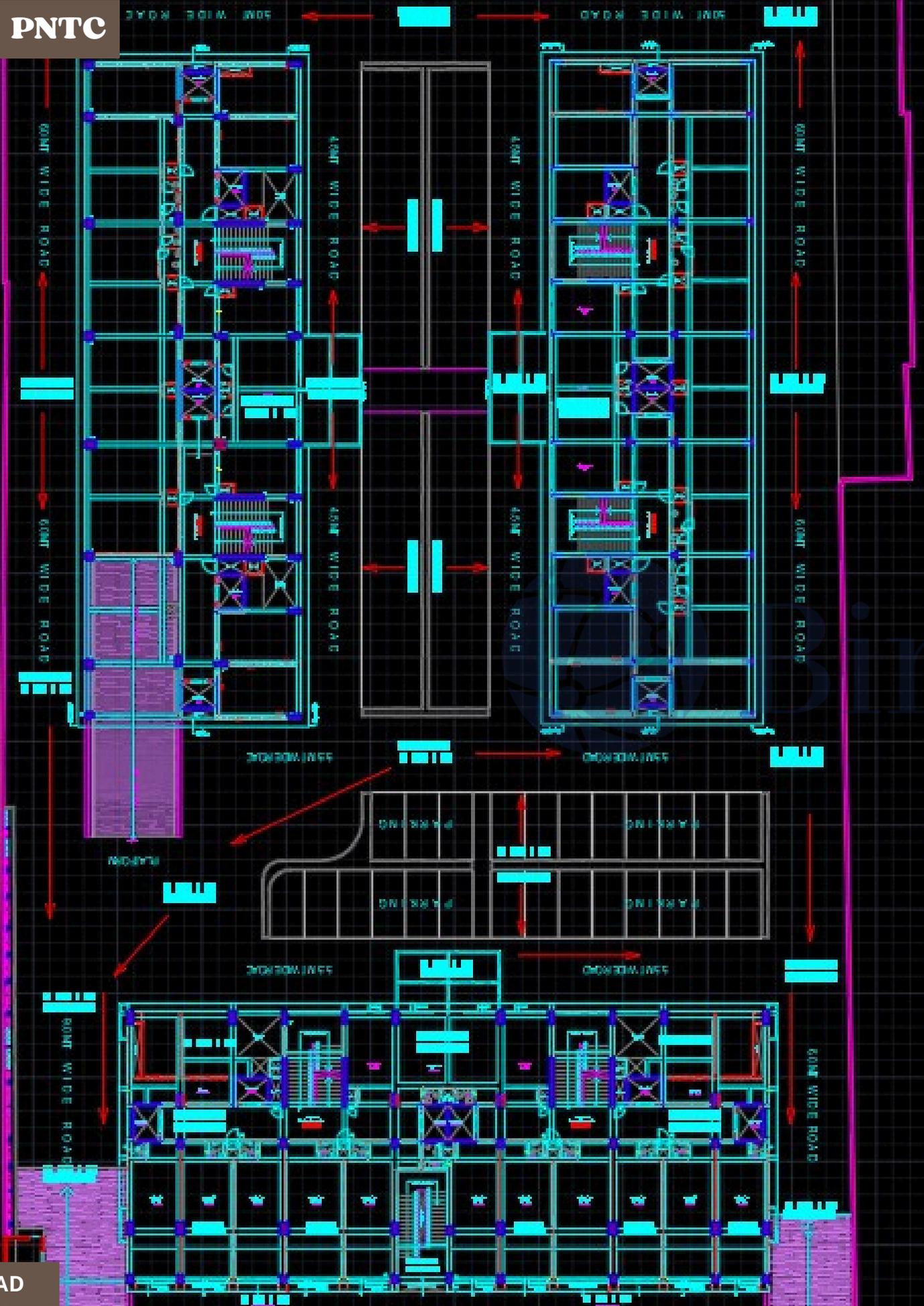
8 BASEMENT 1\_A6 STAIRCASE PLAN 02  
1:50



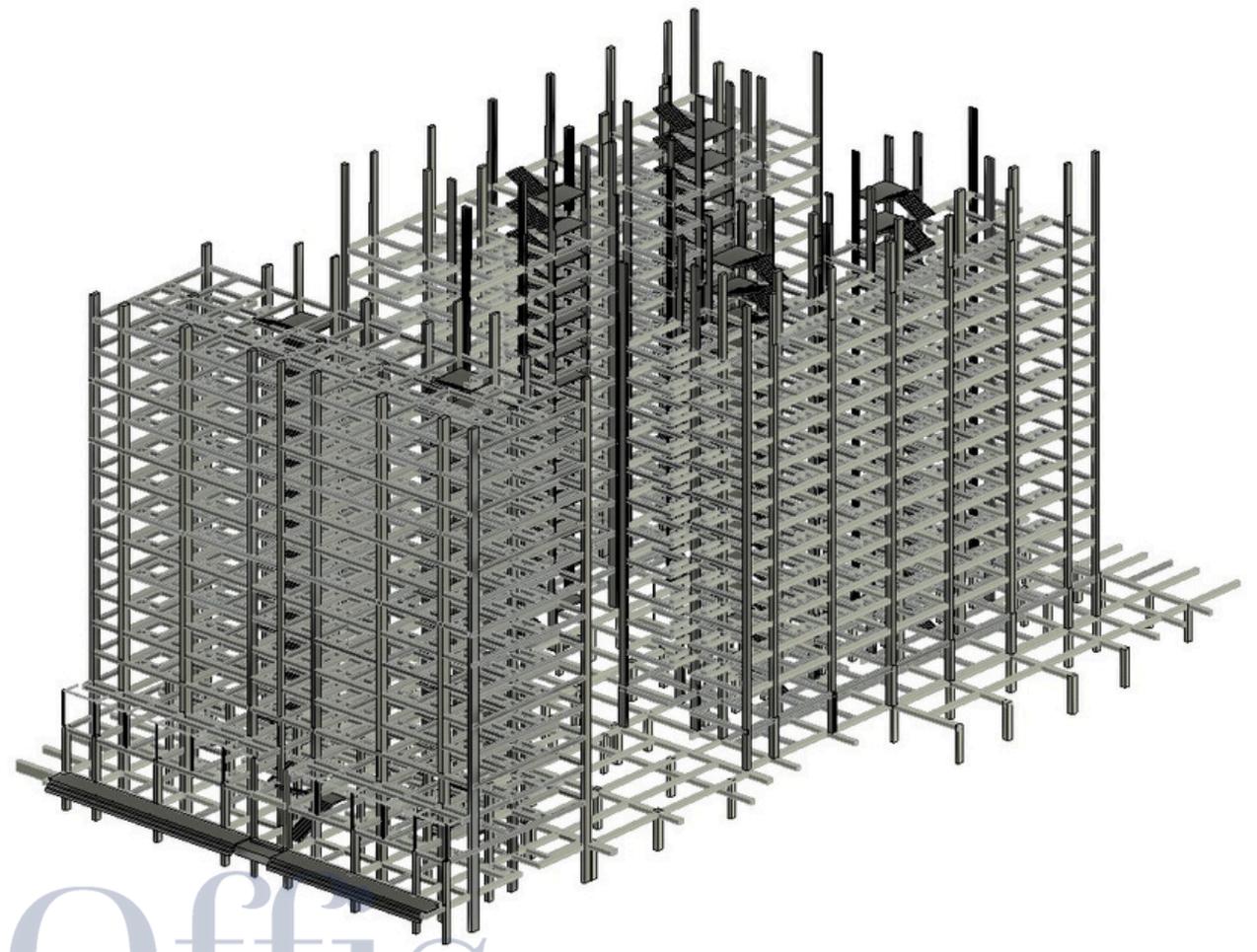
10 A6 Staircase

- Structural RCC
- Non-Structural RCC Wall
- Masonry Wall
- Flange
- STR Staircase Line
- Finish Floor

# 5. PNTC



CAD





# 6. Metro Station

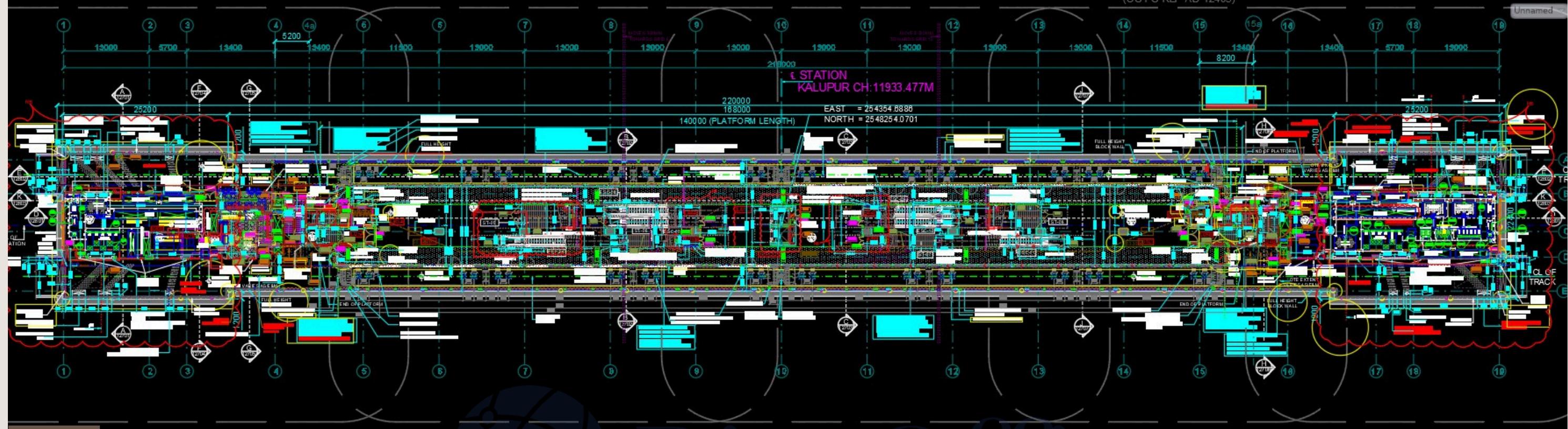
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PART-3  
(UG1-C-KLP-AD-12404)

PART-4  
(UG1-C-KLP-AD-12405)

PART-5  
(UG1-C-KLP-AD-12406)

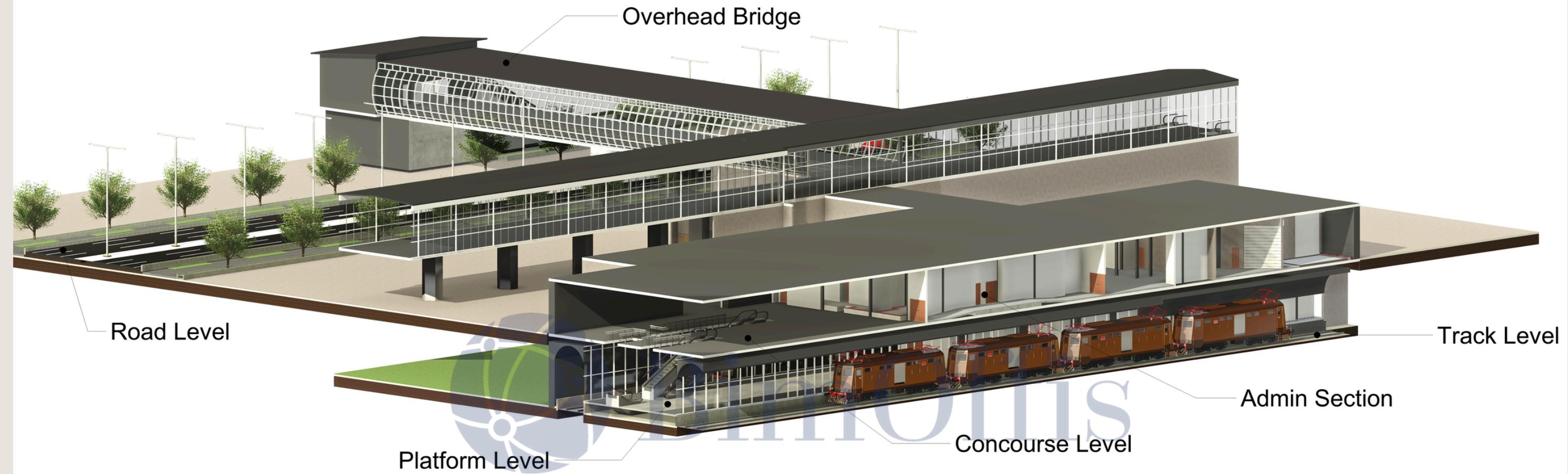
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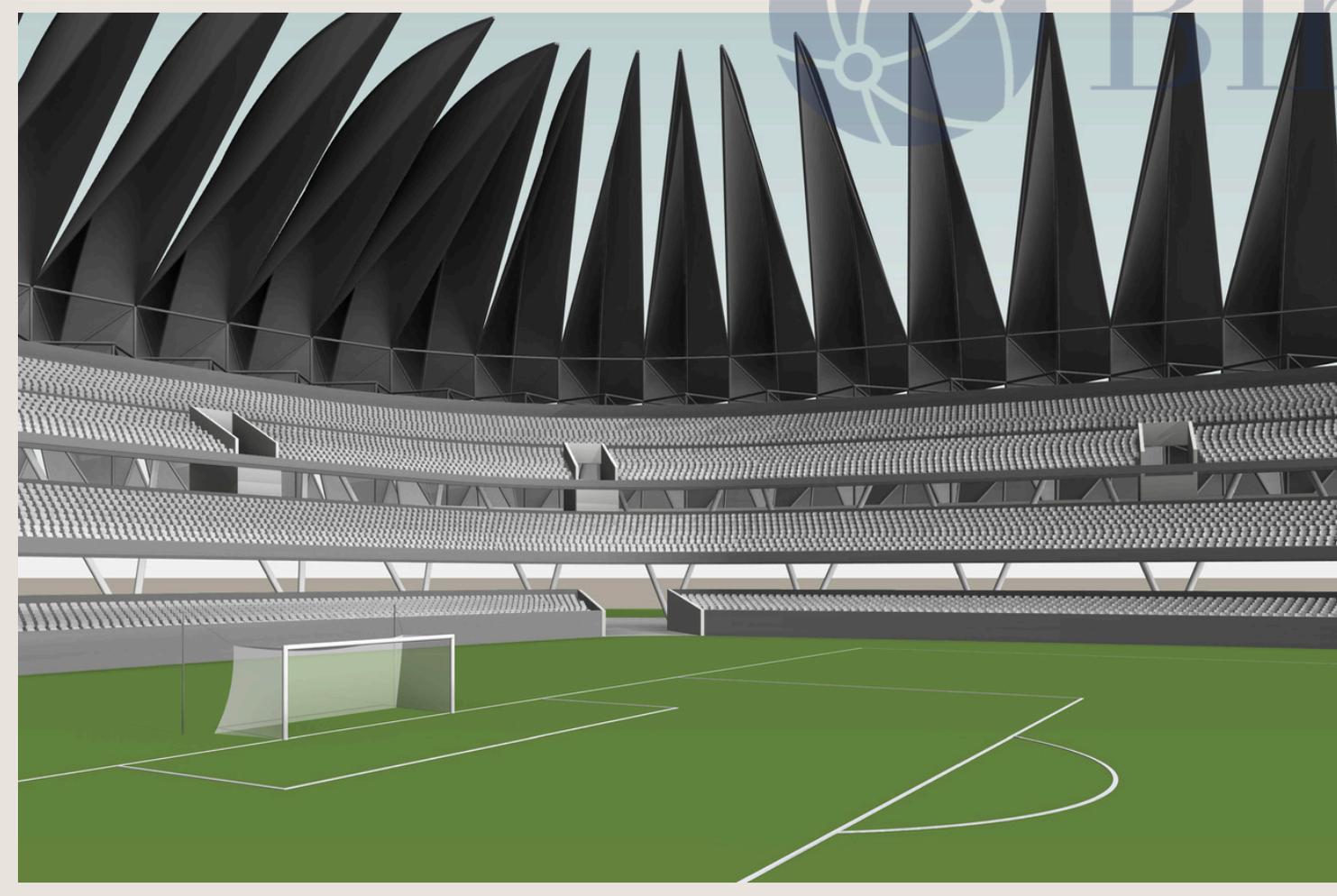
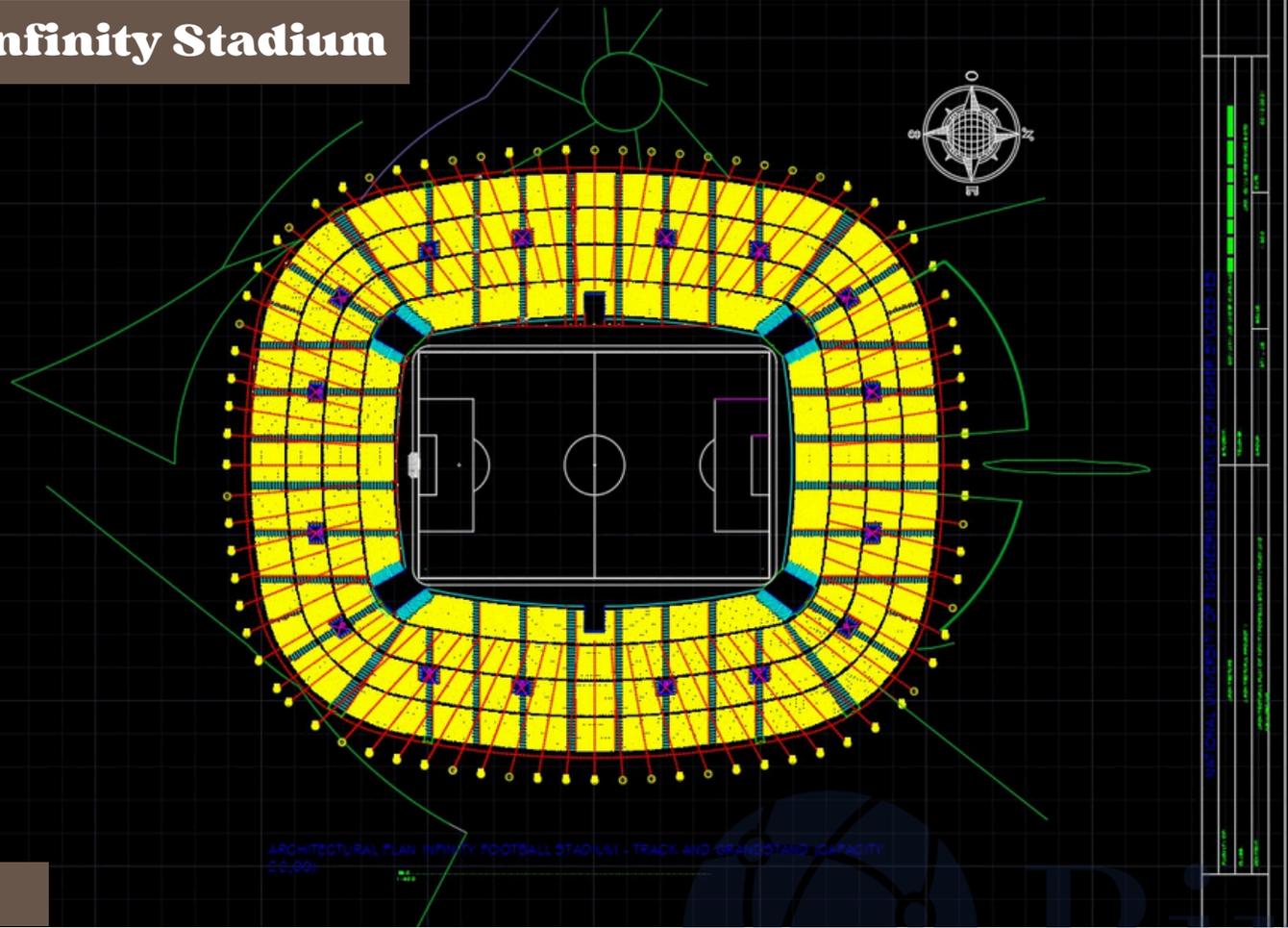
CAD

| ROOM NO. | DESCRIPTION | AREA (SQ. M) |
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| 102      | PLATFORM    | 140000       |
| 103      | TRACK       | 140000       |
| 104      | STATION     | 140000       |
| 105      | CONCOURSE   | 140000       |
| 106      | PLATFORM    | 140000       |
| 107      | TRACK       | 140000       |
| 108      | STATION     | 140000       |
| 109      | CONCOURSE   | 140000       |
| 110      | PLATFORM    | 140000       |
| 111      | TRACK       | 140000       |
| 112      | STATION     | 140000       |
| 113      | CONCOURSE   | 140000       |
| 114      | PLATFORM    | 140000       |
| 115      | TRACK       | 140000       |
| 116      | STATION     | 140000       |
| 117      | CONCOURSE   | 140000       |
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| 119      | TRACK       | 140000       |
| 120      | STATION     | 140000       |





# 7. Infinity Stadium

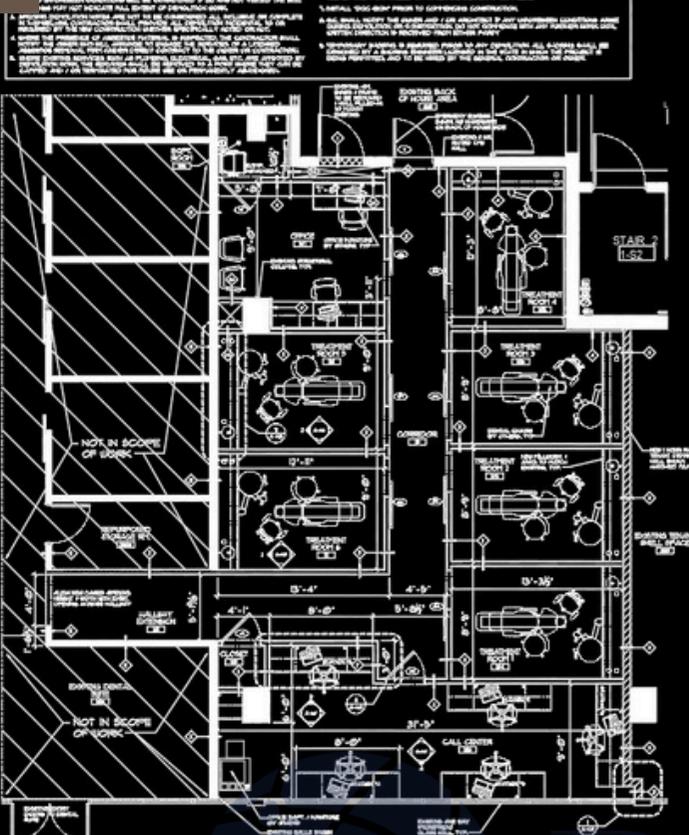


# 8. Feather Sound Smiles

| LEVEL | FL. | MARKER | MARK | MARK | MARK |
|-------|-----|--------|------|------|------|
| 001   | 01  | 001    | 001  | 001  | 001  |
| 002   | 02  | 002    | 002  | 002  | 002  |
| 003   | 03  | 003    | 003  | 003  | 003  |
| 004   | 04  | 004    | 004  | 004  | 004  |
| 005   | 05  | 005    | 005  | 005  | 005  |
| 006   | 06  | 006    | 006  | 006  | 006  |

**GENERAL DEMOLITION NOTES**

- ALL EXISTING WALLS AND PARTITIONS TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE FINISH FLOOR OR CEILING FINISH, UNLESS OTHERWISE NOTED.
- ALL EXISTING CEILING SHALL BE DEMOLISHED TO THE FINISH CEILING FINISH, UNLESS OTHERWISE NOTED.
- ALL EXISTING FLOORS SHALL BE DEMOLISHED TO THE FINISH FLOOR FINISH, UNLESS OTHERWISE NOTED.
- ALL EXISTING ROOFS SHALL BE DEMOLISHED TO THE FINISH ROOF FINISH, UNLESS OTHERWISE NOTED.
- ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE DEMOLISHED TO THE FINISH MECHANICAL, ELECTRICAL, AND PLUMBING FINISH, UNLESS OTHERWISE NOTED.



**FINISH SPECIFICATIONS**

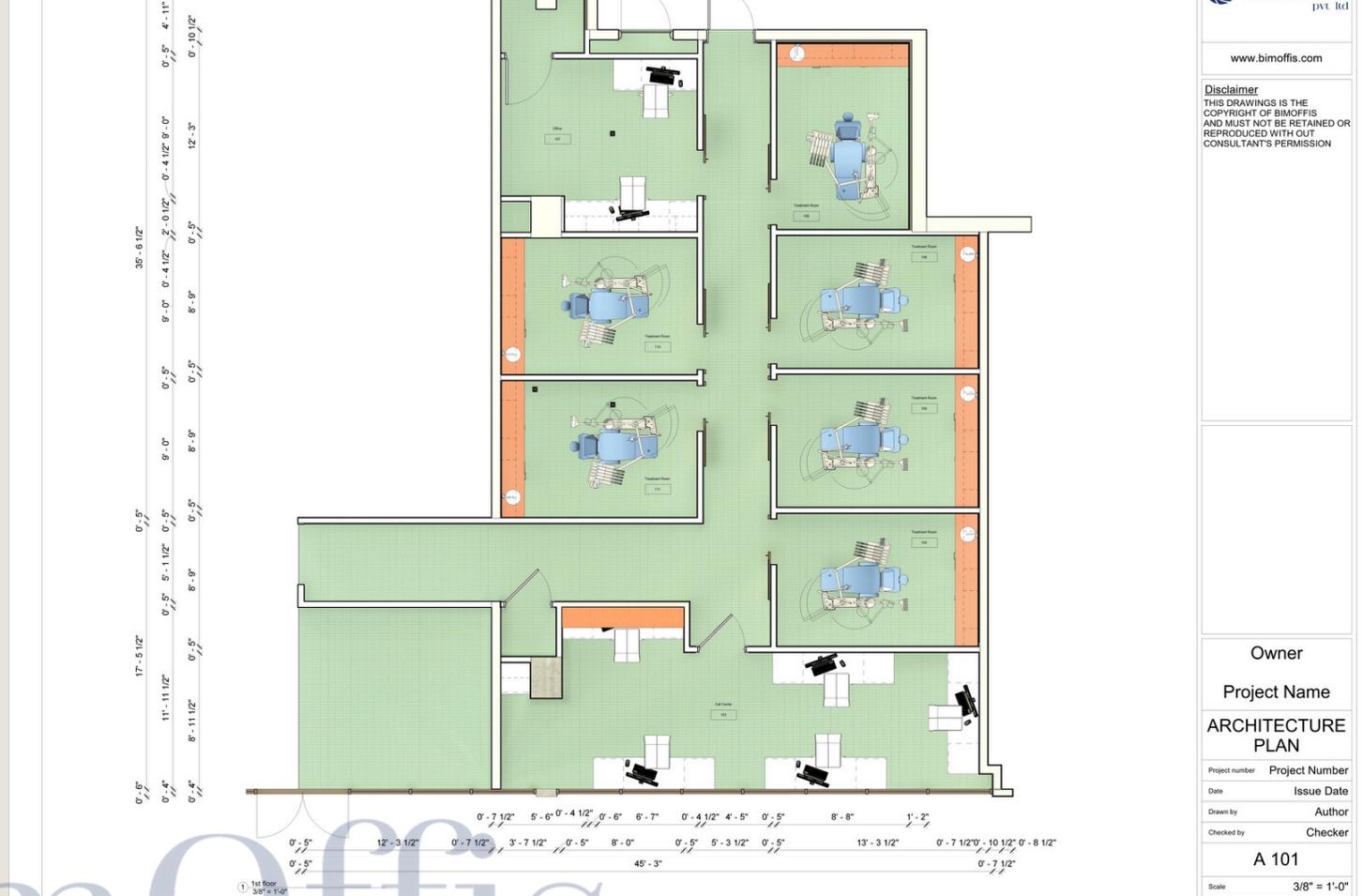
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| 002  | 002    | 002  | 002   | 002   | 002   |
| 003  | 003    | 003  | 003   | 003   | 003   |
| 004  | 004    | 004  | 004   | 004   | 004   |
| 005  | 005    | 005  | 005   | 005   | 005   |
| 006  | 006    | 006  | 006   | 006   | 006   |

**INTERIOR FINISH NOTES**

- ALL INTERIOR WALLS SHALL BE FINISHED WITH CLASS A GYP BOARD AND CLASS A GYP BOARD FINISH, UNLESS OTHERWISE NOTED.
- ALL INTERIOR CEILING SHALL BE FINISHED WITH CLASS A GYP BOARD AND CLASS A GYP BOARD FINISH, UNLESS OTHERWISE NOTED.
- ALL INTERIOR FLOORS SHALL BE FINISHED WITH CLASS A GYP BOARD AND CLASS A GYP BOARD FINISH, UNLESS OTHERWISE NOTED.
- ALL INTERIOR ROOFS SHALL BE FINISHED WITH CLASS A GYP BOARD AND CLASS A GYP BOARD FINISH, UNLESS OTHERWISE NOTED.
- ALL INTERIOR MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE FINISHED WITH CLASS A GYP BOARD AND CLASS A GYP BOARD FINISH, UNLESS OTHERWISE NOTED.

Tenant Expansion at  
**Feather Sound Smiles**  
112 Main St. N.  
St. Petersburg, FL 33716

CAD



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www.bimoffis.com

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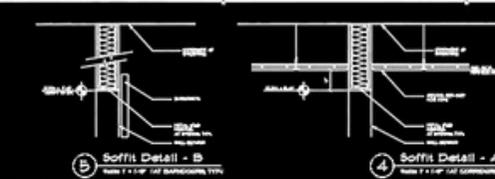
**Owner**

**Project Name**  
ARCHITECTURE PLAN

Project number: \_\_\_\_\_ Project Number: \_\_\_\_\_  
Date: \_\_\_\_\_ Issue Date: \_\_\_\_\_  
Drawn by: \_\_\_\_\_ Author: \_\_\_\_\_  
Checked by: \_\_\_\_\_ Checker: \_\_\_\_\_

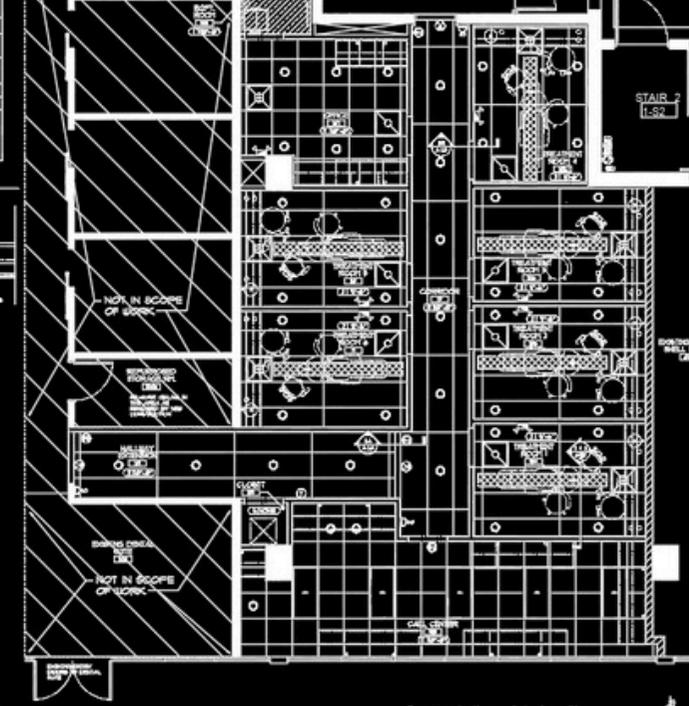
**A 101**

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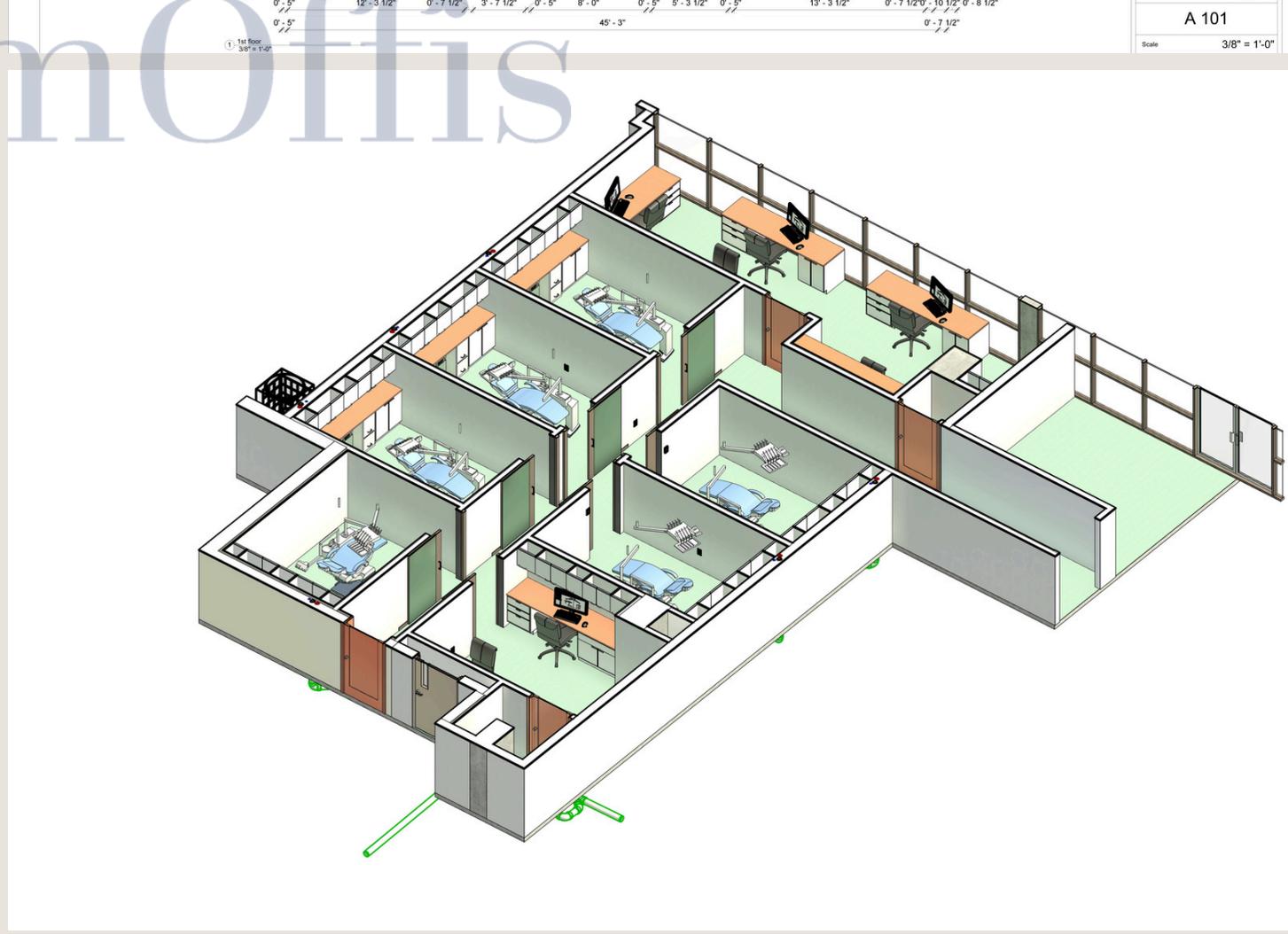
**RCP LEGEND**

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
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| 002    | 002         | 002    | 002         |
| 003    | 003         | 003    | 003         |
| 004    | 004         | 004    | 004         |
| 005    | 005         | 005    | 005         |
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Tenant Expansion at  
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112 Main St. N.  
St. Petersburg, FL 33716

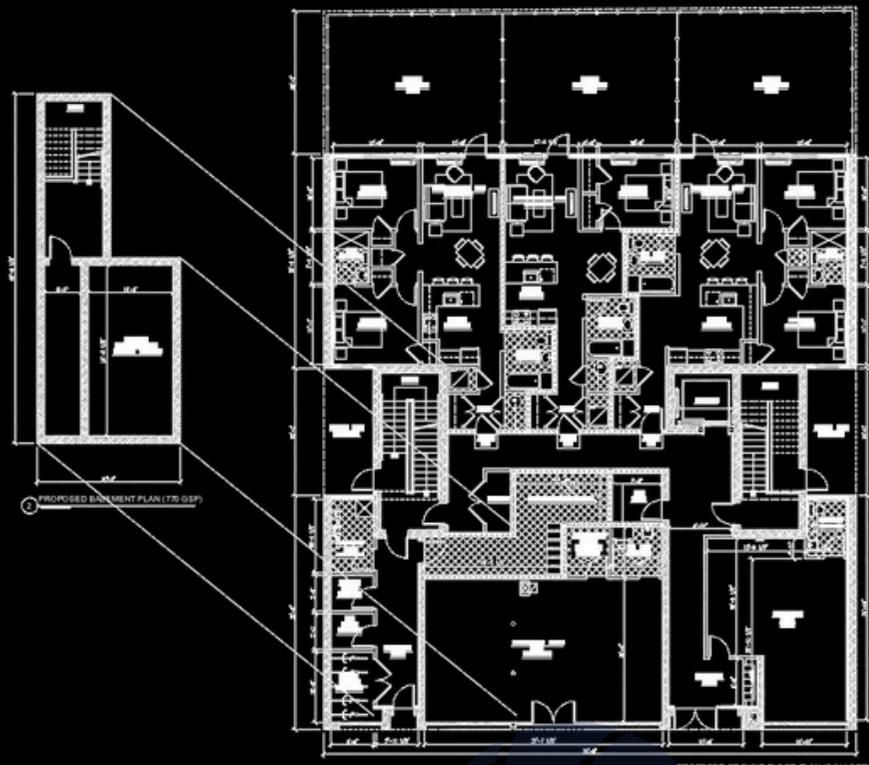
CAD





# 9. Noble Crown

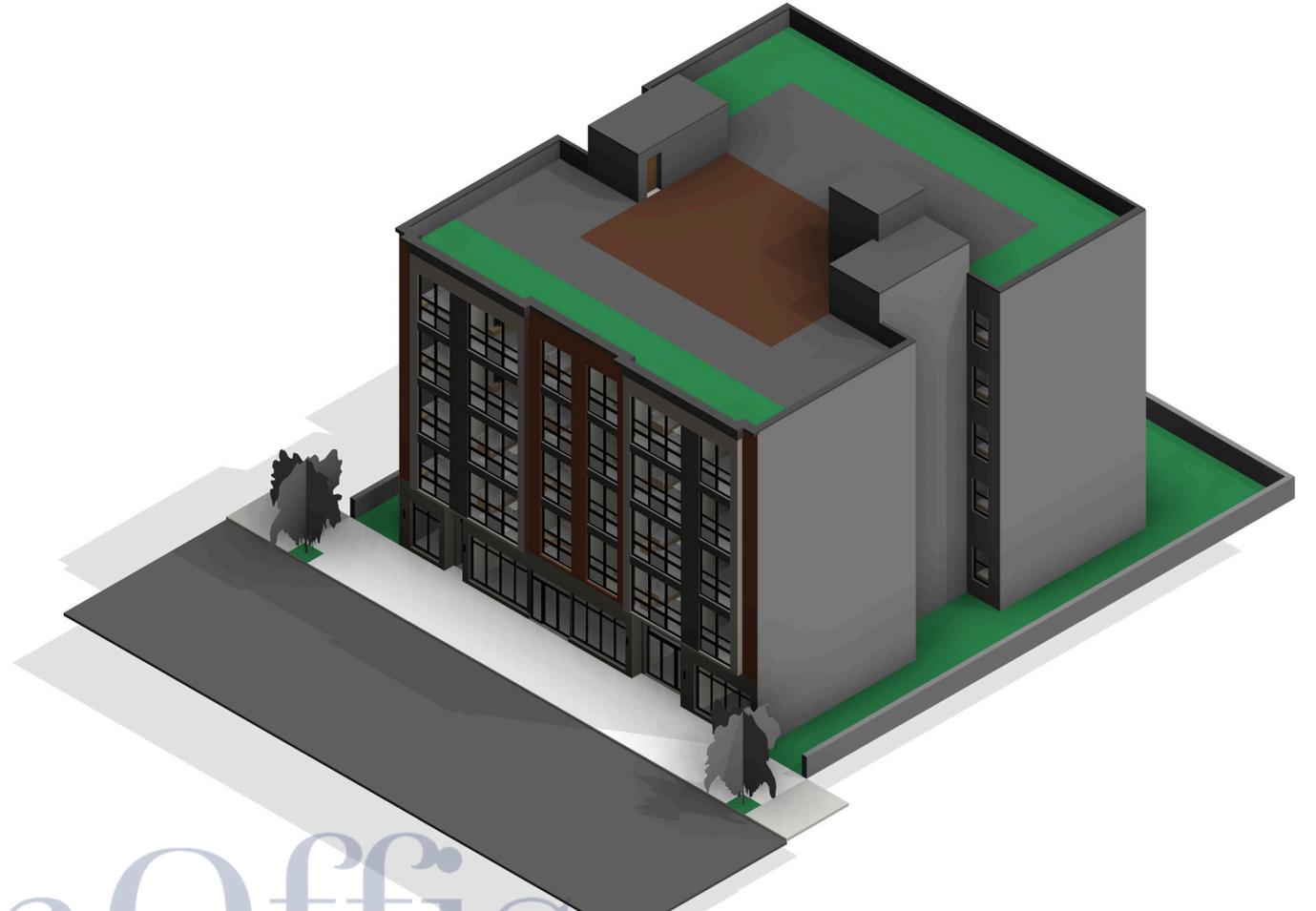
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| 3              | 100 | 3               | 300   |
| 4              | 100 | 4               | 400   |
| 5              | 100 | 5               | 500   |
| 6              | 100 | 6               | 600   |
| 7              | 100 | 7               | 700   |
| 8              | 100 | 8               | 800   |
| 9              | 100 | 9               | 900   |
| 10             | 100 | 10              | 1000  |
| 11             | 100 | 11              | 1100  |
| 12             | 100 | 12              | 1200  |
| 13             | 100 | 13              | 1300  |
| 14             | 100 | 14              | 1400  |
| 15             | 100 | 15              | 1500  |
| 16             | 100 | 16              | 1600  |
| 17             | 100 | 17              | 1700  |
| 18             | 100 | 18              | 1800  |
| 19             | 100 | 19              | 1900  |
| 20             | 100 | 20              | 2000  |
| 21             | 100 | 21              | 2100  |
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| 23             | 100 | 23              | 2300  |
| 24             | 100 | 24              | 2400  |
| 25             | 100 | 25              | 2500  |
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| 27             | 100 | 27              | 2700  |
| 28             | 100 | 28              | 2800  |
| 29             | 100 | 29              | 2900  |
| 30             | 100 | 30              | 3000  |
| 31             | 100 | 31              | 3100  |
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| 33             | 100 | 33              | 3300  |
| 34             | 100 | 34              | 3400  |
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| 38             | 100 | 38              | 3800  |
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| 42             | 100 | 42              | 4200  |
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| 44             | 100 | 44              | 4400  |
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| 63             | 100 | 63              | 6300  |
| 64             | 100 | 64              | 6400  |
| 65             | 100 | 65              | 6500  |
| 66             | 100 | 66              | 6600  |
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| 71             | 100 | 71              | 7100  |
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| 76             | 100 | 76              | 7600  |
| 77             | 100 | 77              | 7700  |
| 78             | 100 | 78              | 7800  |
| 79             | 100 | 79              | 7900  |
| 80             | 100 | 80              | 8000  |
| 81             | 100 | 81              | 8100  |
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| 89             | 100 | 89              | 8900  |
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| 92             | 100 | 92              | 9200  |
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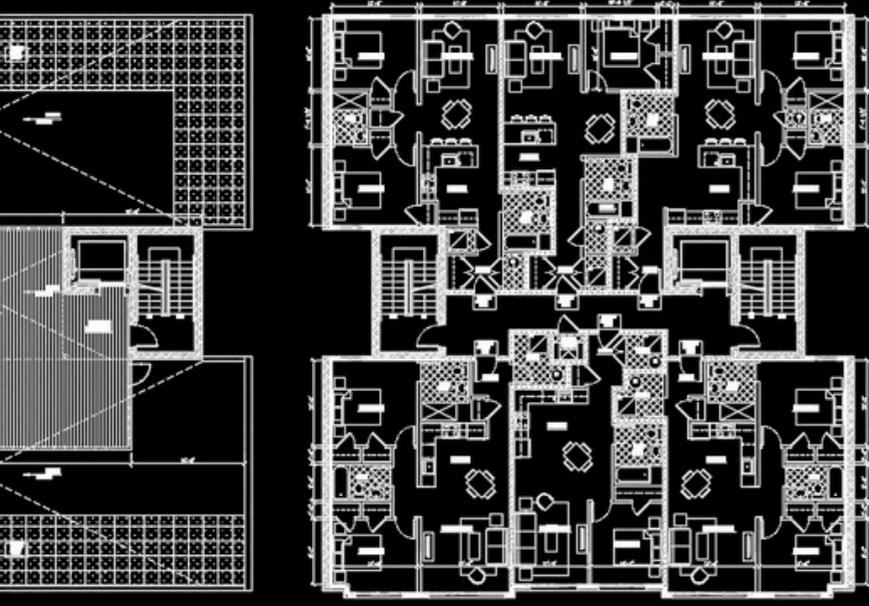
NEW 5-STORY, MIXED-USE, 26 RESIDENTIAL UNITS W/ GROUND FLOOR COMMERCIAL SPACE

A-100

CAD



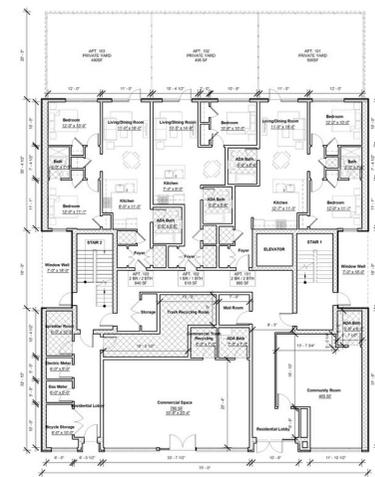
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| 2                    | 100 | 3             | 300   |
| 3                    | 100 | 4             | 400   |
| 4                    | 100 | 5             | 500   |
| 5                    | 100 | 6             | 600   |
| 6                    | 100 | 7             | 700   |
| 7                    | 100 | 8             | 800   |
| 8                    | 100 | 9             | 900   |
| 9                    | 100 | 10            | 1000  |
| 10                   | 100 | 11            | 1100  |
| 11                   | 100 | 12            | 1200  |
| 12                   | 100 | 13            | 1300  |
| 13                   | 100 | 14            | 1400  |
| 14                   | 100 | 15            | 1500  |
| 15                   | 100 | 16            | 1600  |
| 16                   | 100 | 17            | 1700  |
| 17                   | 100 | 18            | 1800  |
| 18                   | 100 | 19            | 1900  |
| 19                   | 100 | 20            | 2000  |
| 20                   | 100 | 21            | 2100  |
| 21                   | 100 | 22            | 2200  |
| 22                   | 100 | 23            | 2300  |
| 23                   | 100 | 24            | 2400  |
| 24                   | 100 | 25            | 2500  |
| 25                   | 100 | 26            | 2600  |
| 26                   | 100 | 27            | 2700  |
| 27                   | 100 | 28            | 2800  |
| 28                   | 100 | 29            | 2900  |
| 29                   | 100 | 30            | 3000  |
| 30                   | 100 | 31            | 3100  |
| 31                   | 100 | 32            | 3200  |
| 32                   | 100 | 33            | 3300  |
| 33                   | 100 | 34            | 3400  |
| 34                   | 100 | 35            | 3500  |
| 35                   | 100 | 36            | 3600  |
| 36                   | 100 | 37            | 3700  |
| 37                   | 100 | 38            | 3800  |
| 38                   | 100 | 39            | 3900  |
| 39                   | 100 | 40            | 4000  |
| 40                   | 100 | 41            | 4100  |
| 41                   | 100 | 42            | 4200  |
| 42                   | 100 | 43            | 4300  |
| 43                   | 100 | 44            | 4400  |
| 44                   | 100 | 45            | 4500  |
| 45                   | 100 | 46            | 4600  |
| 46                   | 100 | 47            | 4700  |
| 47                   | 100 | 48            | 4800  |
| 48                   | 100 | 49            | 4900  |
| 49                   | 100 | 50            | 5000  |
| 50                   | 100 | 51            | 5100  |
| 51                   | 100 | 52            | 5200  |
| 52                   | 100 | 53            | 5300  |
| 53                   | 100 | 54            | 5400  |
| 54                   | 100 | 55            | 5500  |
| 55                   | 100 | 56            | 5600  |
| 56                   | 100 | 57            | 5700  |
| 57                   | 100 | 58            | 5800  |
| 58                   | 100 | 59            | 5900  |
| 59                   | 100 | 60            | 6000  |
| 60                   | 100 | 61            | 6100  |
| 61                   | 100 | 62            | 6200  |
| 62                   | 100 | 63            | 6300  |
| 63                   | 100 | 64            | 6400  |
| 64                   | 100 | 65            | 6500  |
| 65                   | 100 | 66            | 6600  |
| 66                   | 100 | 67            | 6700  |
| 67                   | 100 | 68            | 6800  |
| 68                   | 100 | 69            | 6900  |
| 69                   | 100 | 70            | 7000  |
| 70                   | 100 | 71            | 7100  |
| 71                   | 100 | 72            | 7200  |
| 72                   | 100 | 73            | 7300  |
| 73                   | 100 | 74            | 7400  |
| 74                   | 100 | 75            | 7500  |
| 75                   | 100 | 76            | 7600  |
| 76                   | 100 | 77            | 7700  |
| 77                   | 100 | 78            | 7800  |
| 78                   | 100 | 79            | 7900  |
| 79                   | 100 | 80            | 8000  |
| 80                   | 100 | 81            | 8100  |
| 81                   | 100 | 82            | 8200  |
| 82                   | 100 | 83            | 8300  |
| 83                   | 100 | 84            | 8400  |
| 84                   | 100 | 85            | 8500  |
| 85                   | 100 | 86            | 8600  |
| 86                   | 100 | 87            | 8700  |
| 87                   | 100 | 88            | 8800  |
| 88                   | 100 | 89            | 8900  |
| 89                   | 100 | 90            | 9000  |
| 90                   | 100 | 91            | 9100  |
| 91                   | 100 | 92            | 9200  |
| 92                   | 100 | 93            | 9300  |
| 93                   | 100 | 94            | 9400  |
| 94                   | 100 | 95            | 9500  |
| 95                   | 100 | 96            | 9600  |
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| 97                   | 100 | 98            | 9800  |
| 98                   | 100 | 99            | 9900  |
| 99                   | 100 | 100           | 10000 |



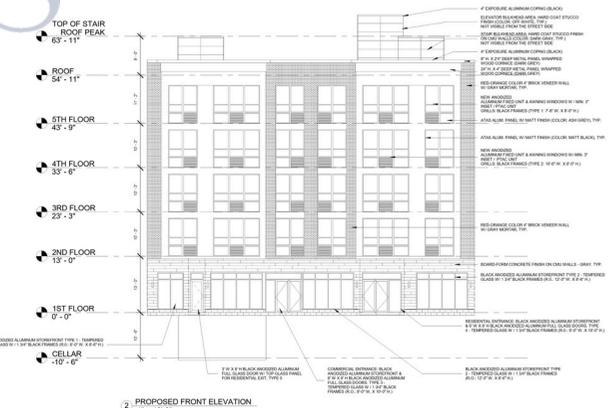
NEW 5-STORY, MIXED-USE, 26 RESIDENTIAL UNITS W/ GROUND FLOOR COMMERCIAL SPACE

A-120

CAD



1. PROPOSED 16TH FLOOR PLAN (5,811 GSF) 1" = 10'-0"



2. PROPOSED FRONT ELEVATION 1" = 10'-0"



3. PROPOSED REAR ELEVATION 1" = 10'-0"



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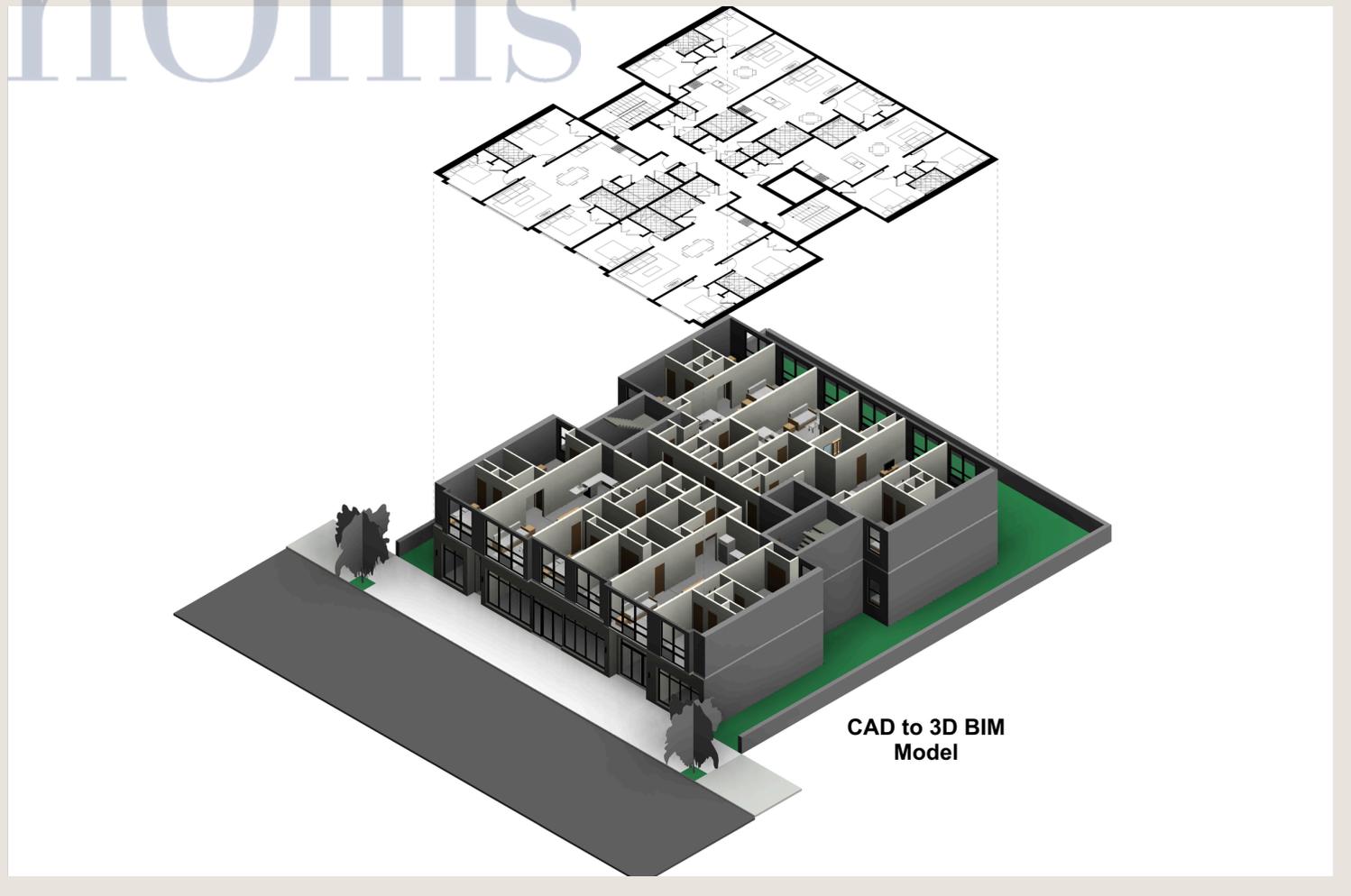
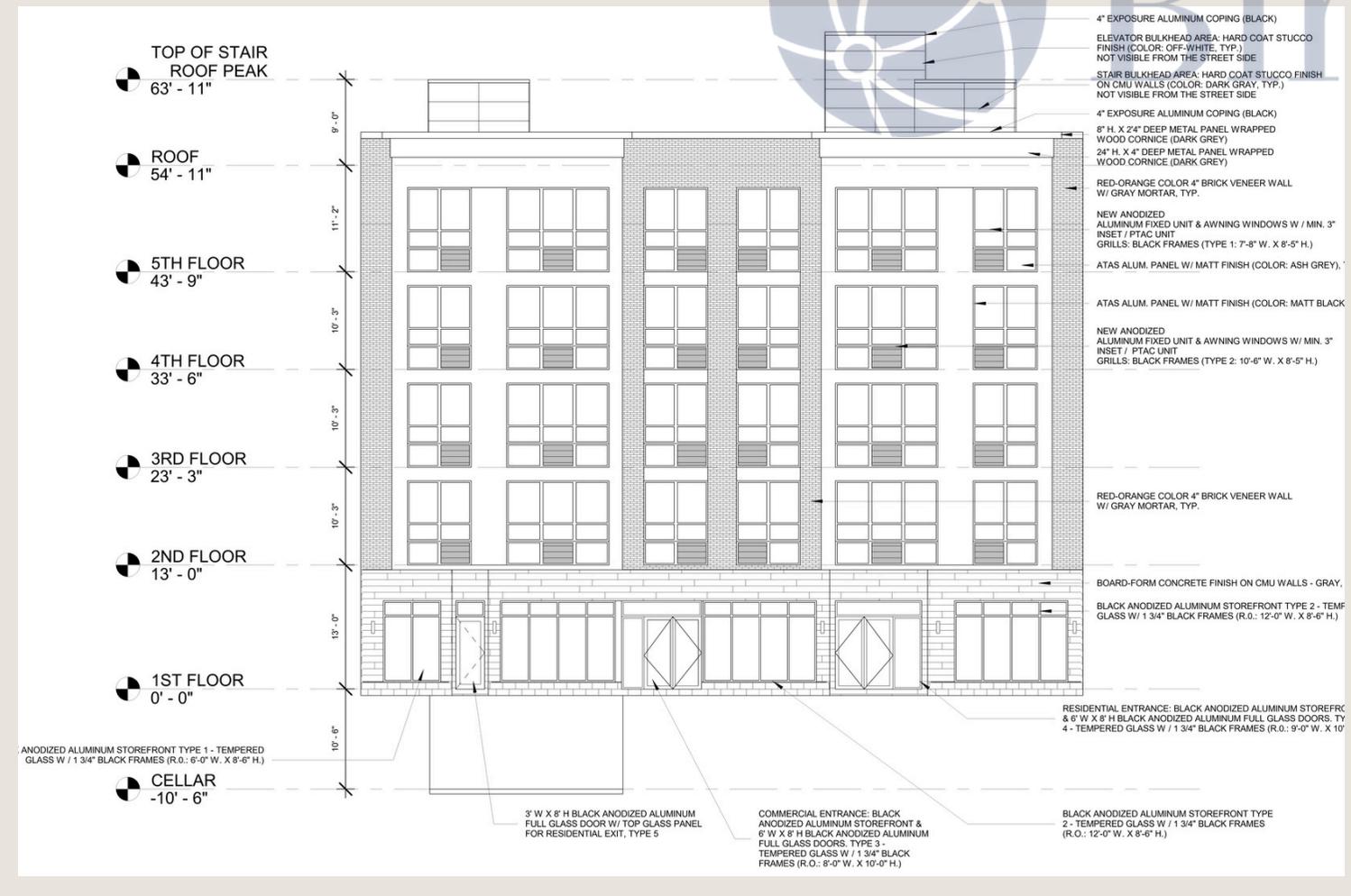
DRAWING TITLE:  
FLOOR PLAN & ELEVATIONS

PROJECT NAME:  
ORCHARD APARTMENT

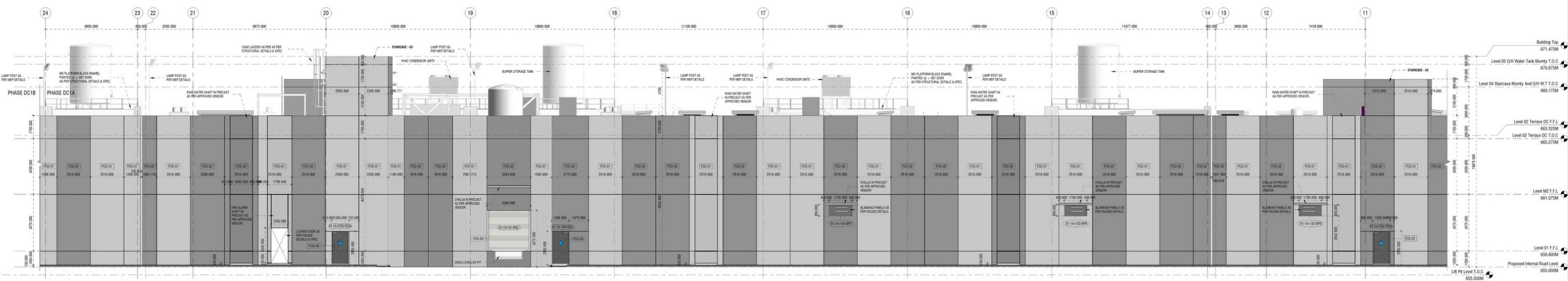
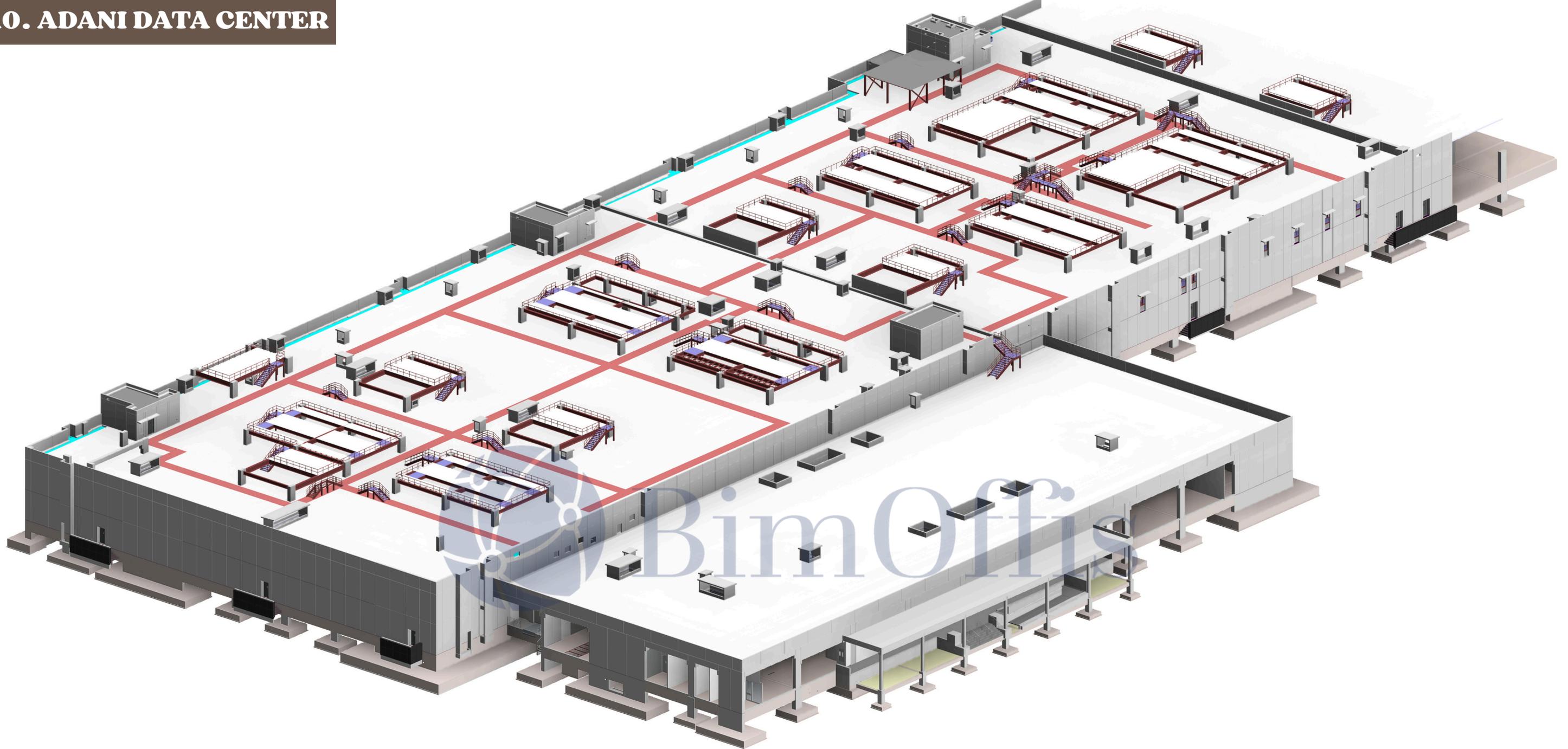
DWG NO.: A-100

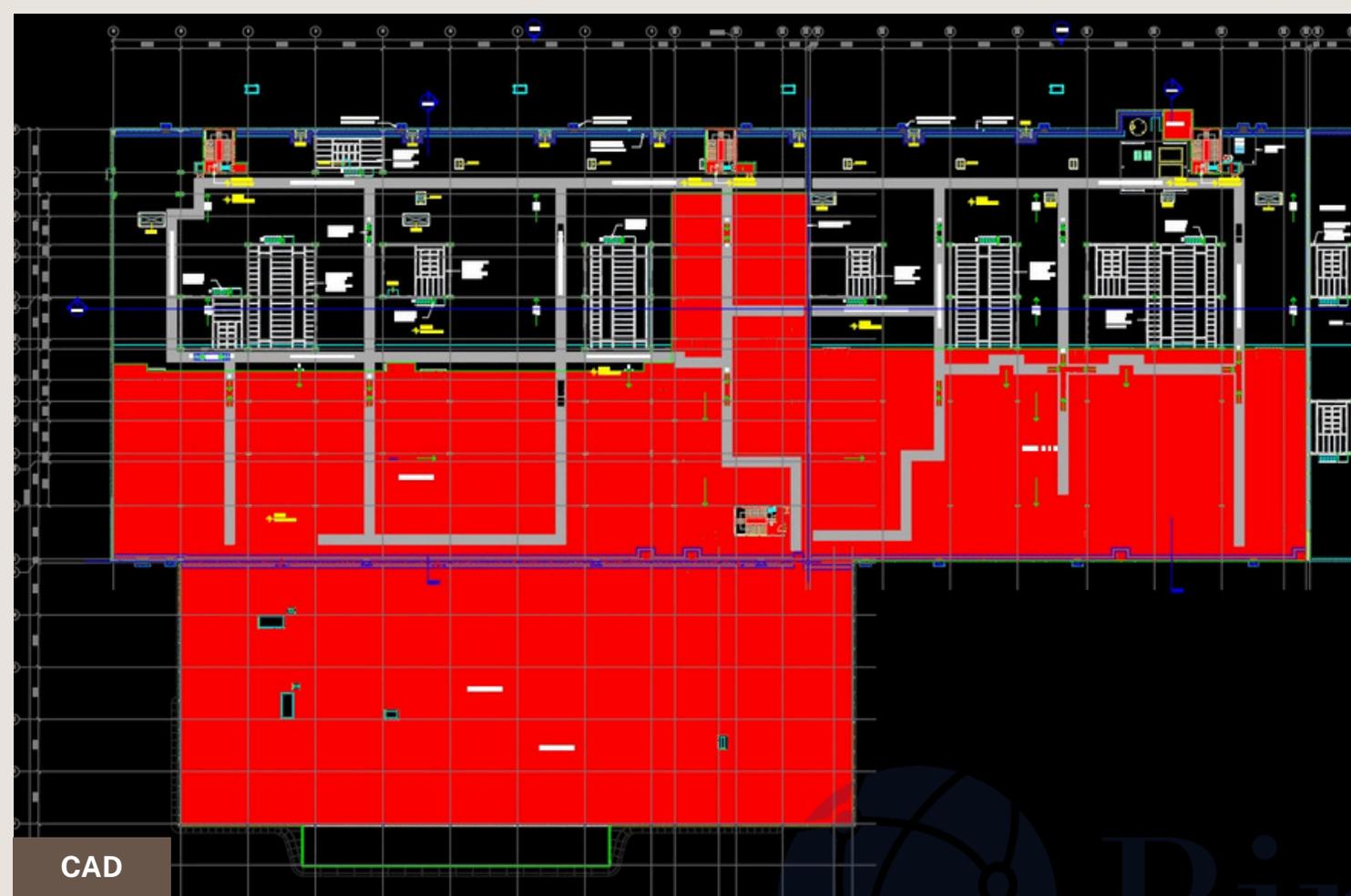
SCALE: 1" = 10'-0"

DATE: 18.01.2024

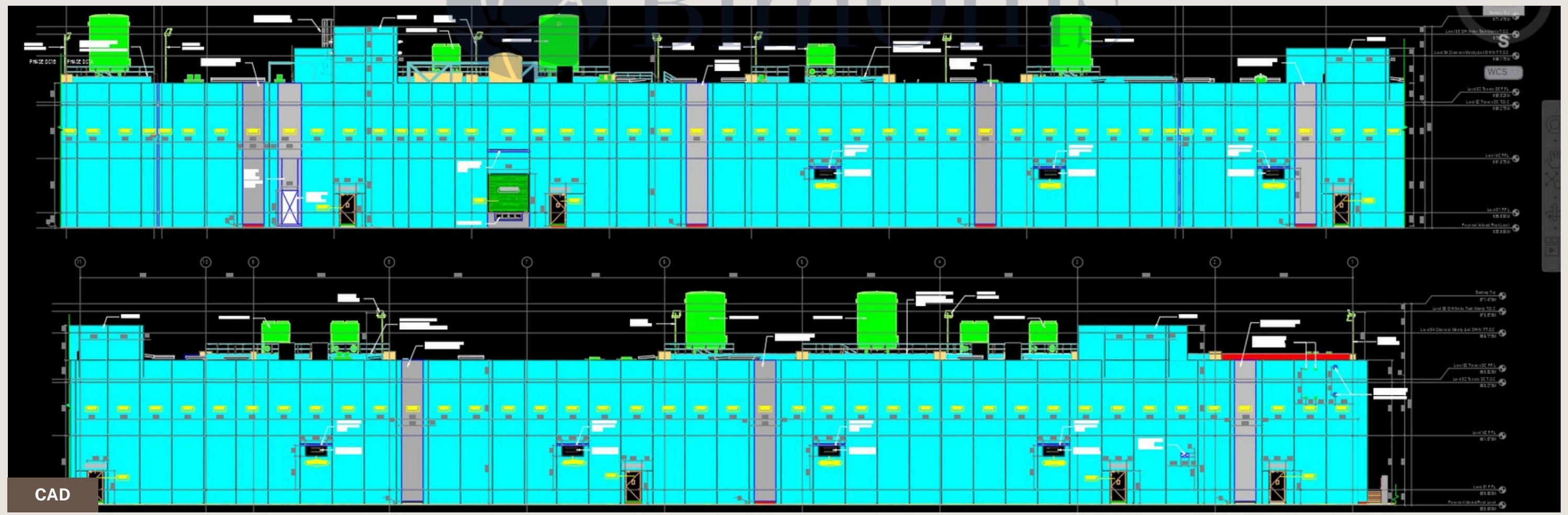
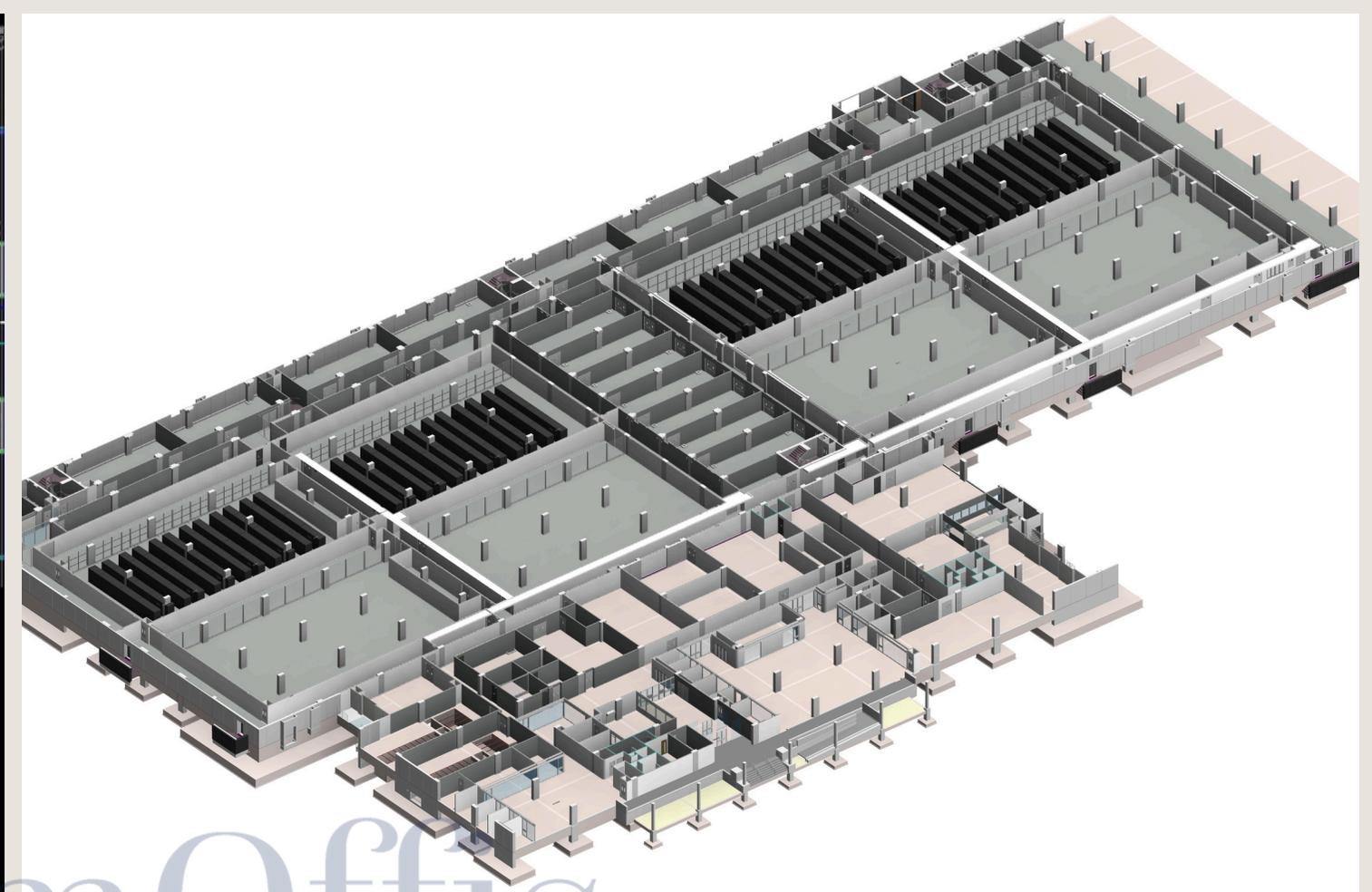


# 10. ADANI DATA CENTER





CAD



CAD

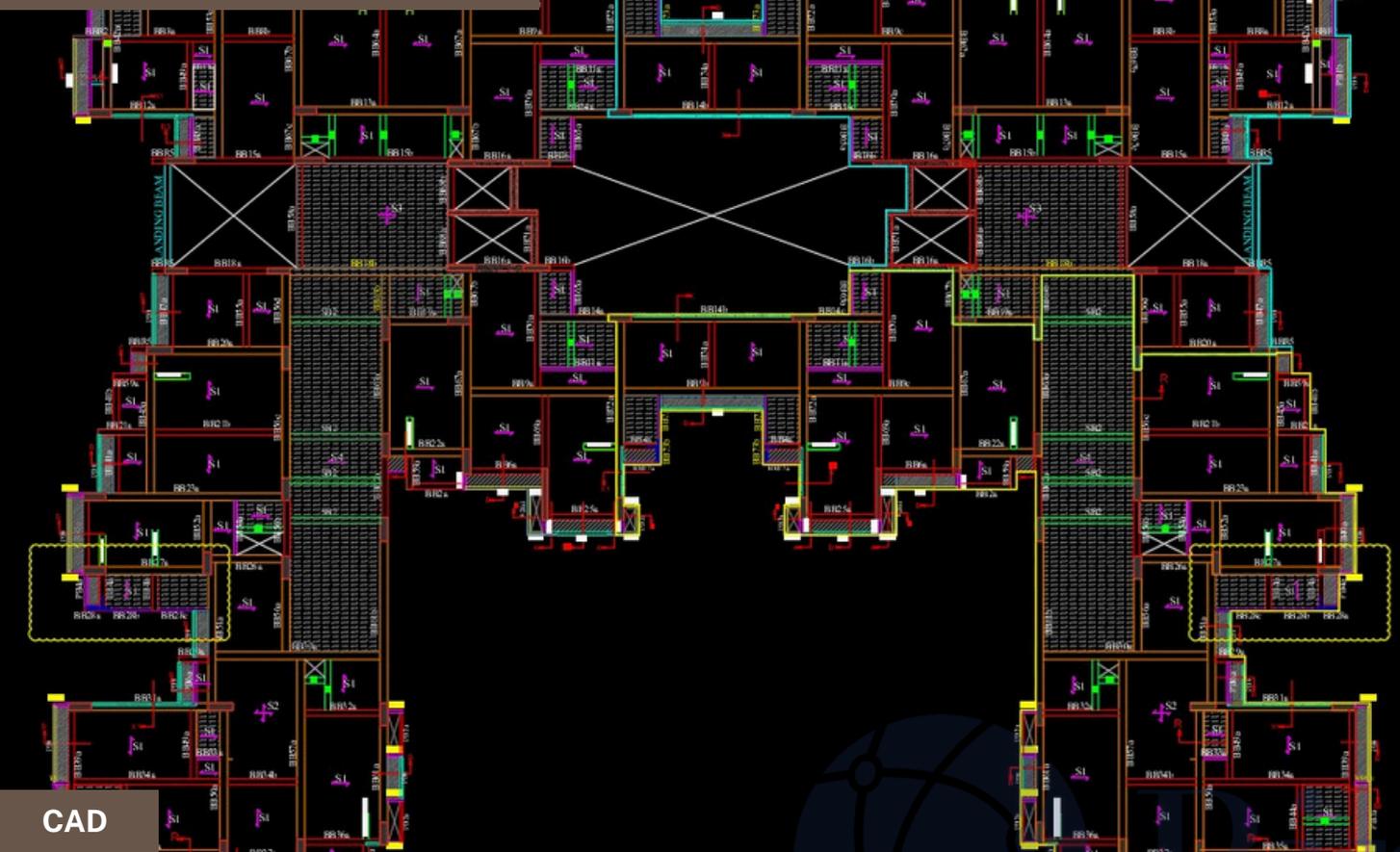




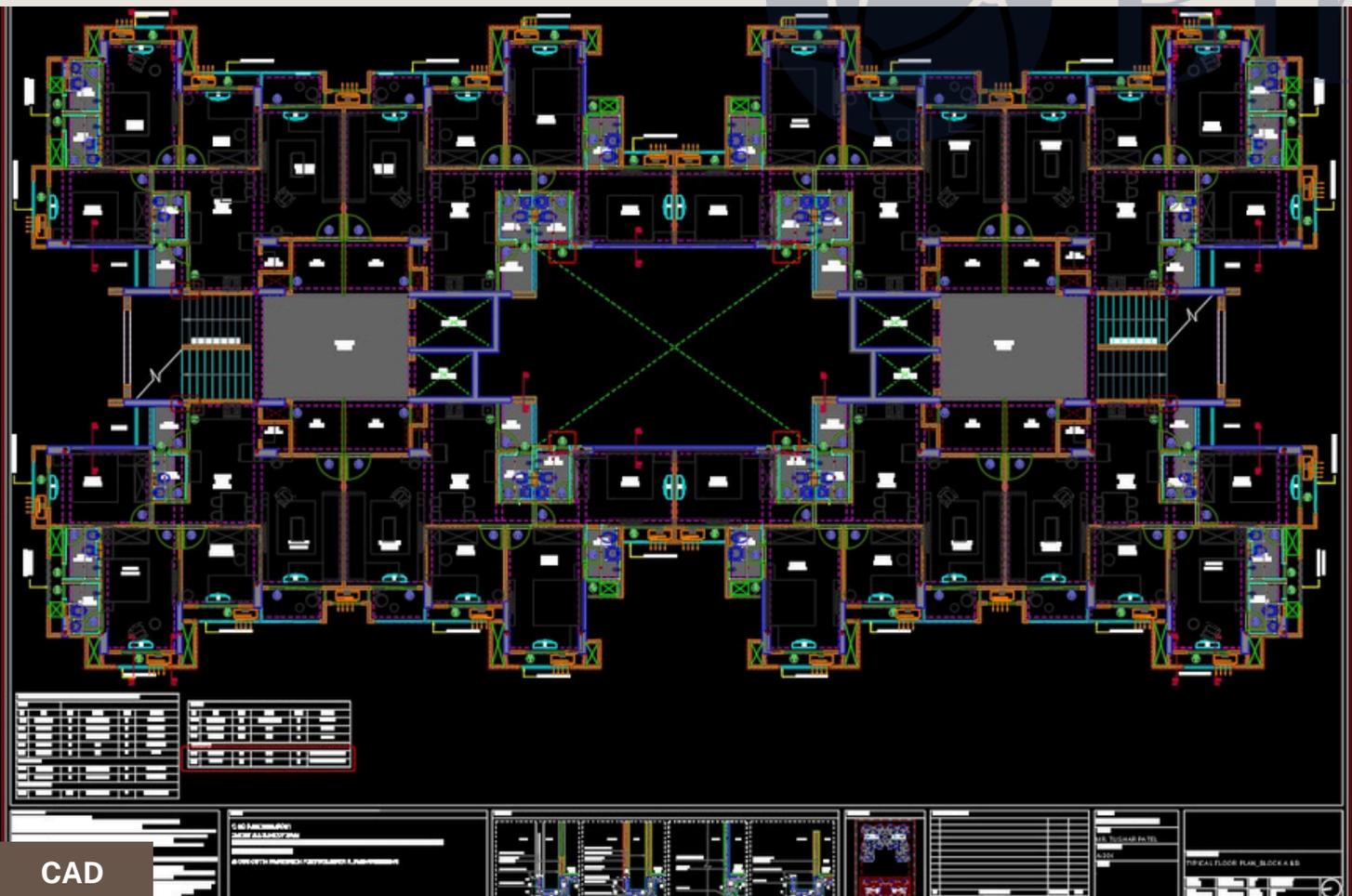




# 12. Serence Elegancy



CAD



CAD

**Cluster Plan**

No. of Clusters:- 2 Buildings  
Block- A, B  
Units Per Building:- 40 Units (Block-A)  
40 Units (Block-B)

Unit Area:- 102.23m<sup>2</sup>  
Ducts:- 13.55m<sup>2</sup>  
Floor Plate Area:- 970m<sup>2</sup>  
(Block-A, Block-B)

**Unit Isometric View**

**Unit Plan**

- 1.Private Foyer:- 6'6"x7'0"
- 2.Living Room:-10'6"x17'0"
- 3.Kitchen & Dining Area:-9'0"x16'0"
- 4.Store:-4'0"x4'0"
- 5.Washyard:-4'6"x6'6"
- 7.Bed Room:-10'0"x16'0"
- 8.Toilet :- 4'6"x6'9"
- 9.Bed Room:-13'0"x10'0"
- 10.Toilet :- 4'6"x6'9"
- 11.Balcony:-8'0"x4'0"

**Cluster Plan**

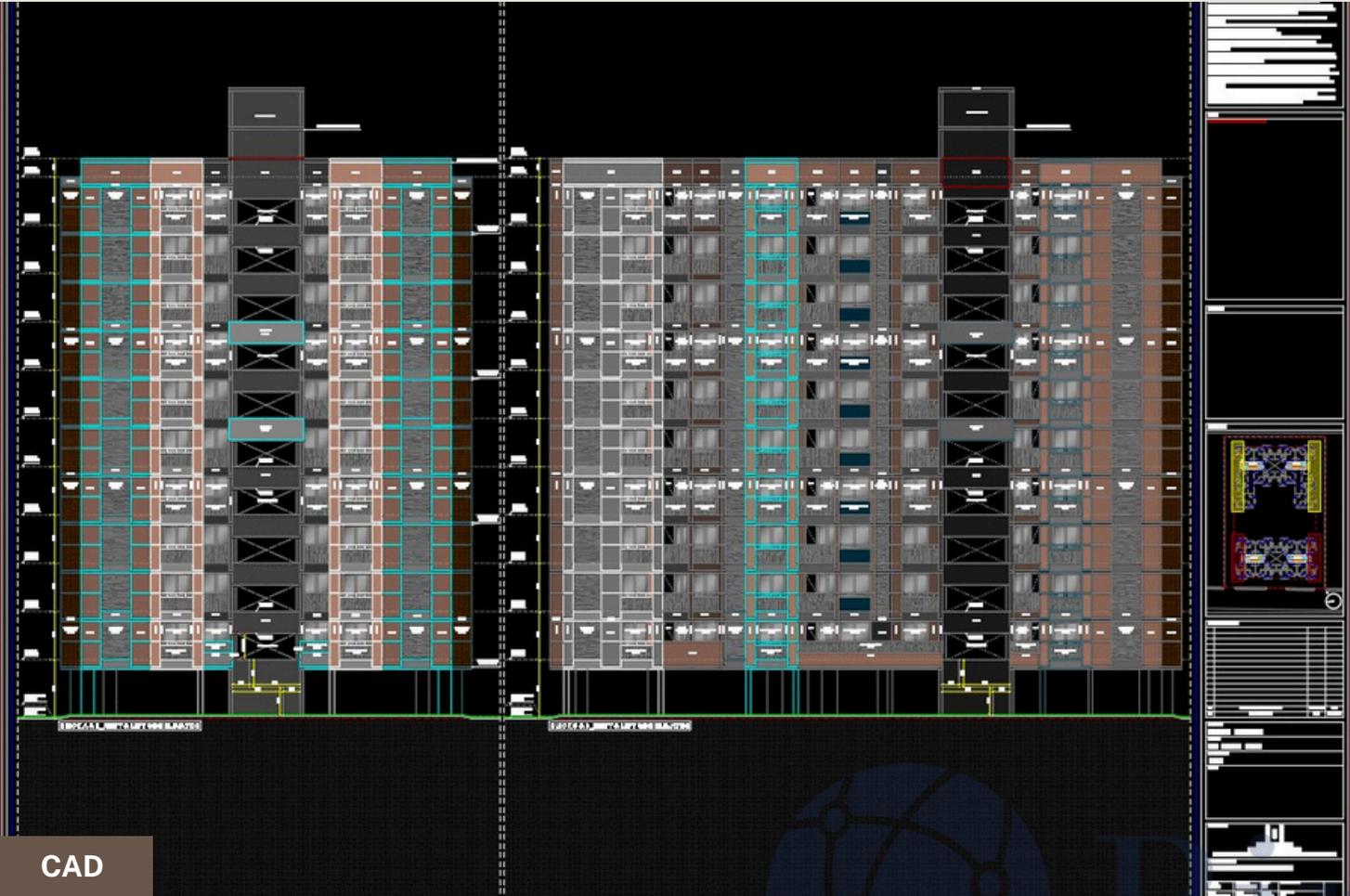
No. of Clusters:- 2 Buildings  
Block- C, D  
Units Per Building:- 50 Units (Block-C)  
50 Units (Block-D)

Unit Area:-107.99m<sup>2</sup>  
Ducts:- 22.22m<sup>2</sup>  
Floor Plate Area:- 1298.76 m<sup>2</sup>  
(Block-C, Block-D)

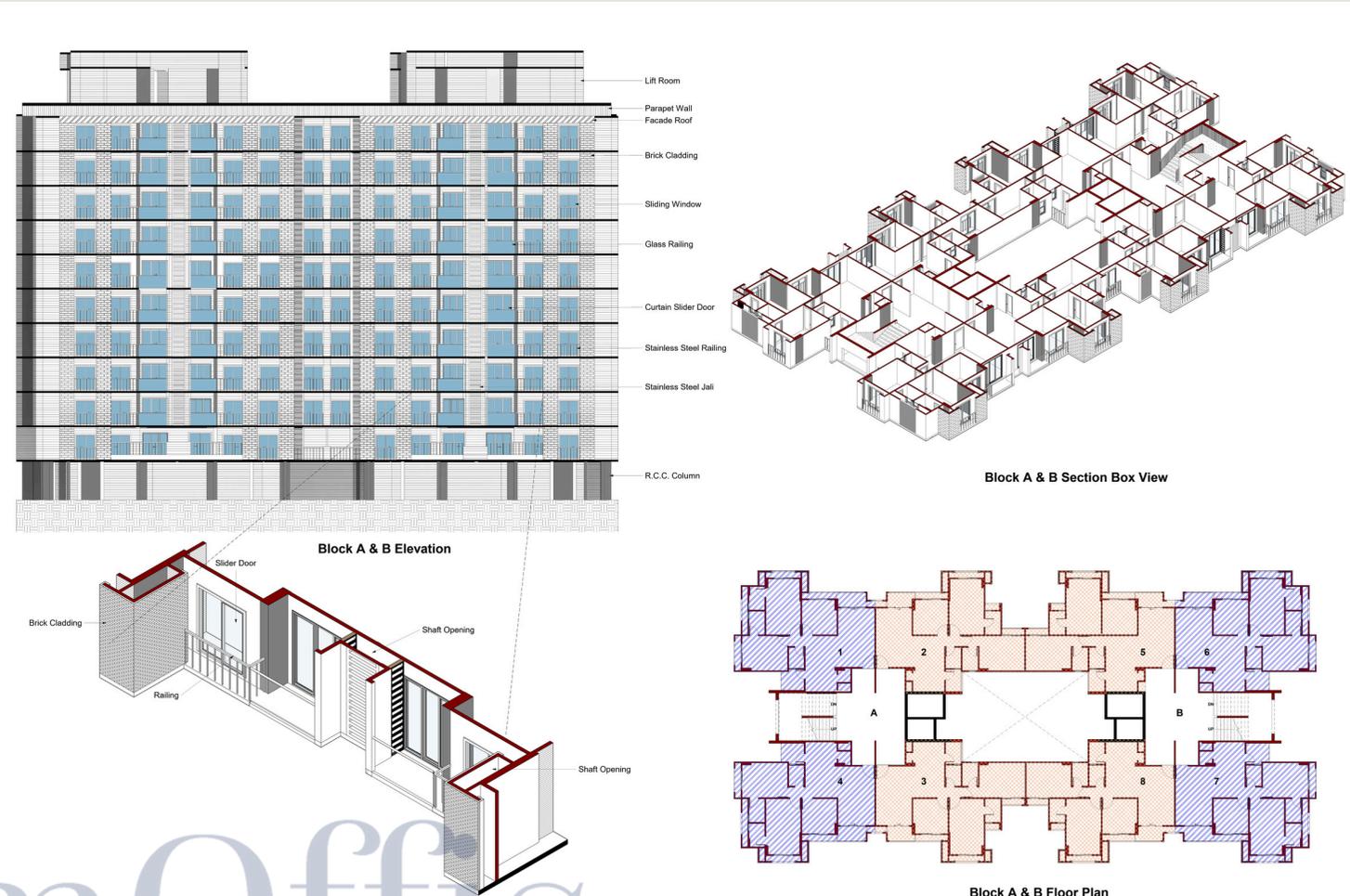
**Unit Isometric View**

**Unit Plan**

- 1.Private Foyer:- 6'6"x7'0"
- 2.Living Room:-10'6"x17'0"
- 3.Kitchen & Dining Area:-9'0"x16'0"
- 4.Store:-4'0"x4'0"
- 5.Washyard:-4'6"x6'6"
- 7.Bed Room:-10'0"x16'0"
- 8.Toilet :- 4'6"x6'9"
- 9.Bed Room:-13'0"x10'0"
- 10.Toilet :- 4'6"x6'9"
- 11.Balcony:-8'0"x4'0"

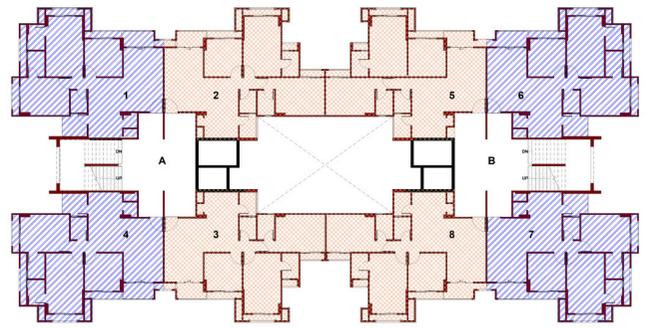


CAD

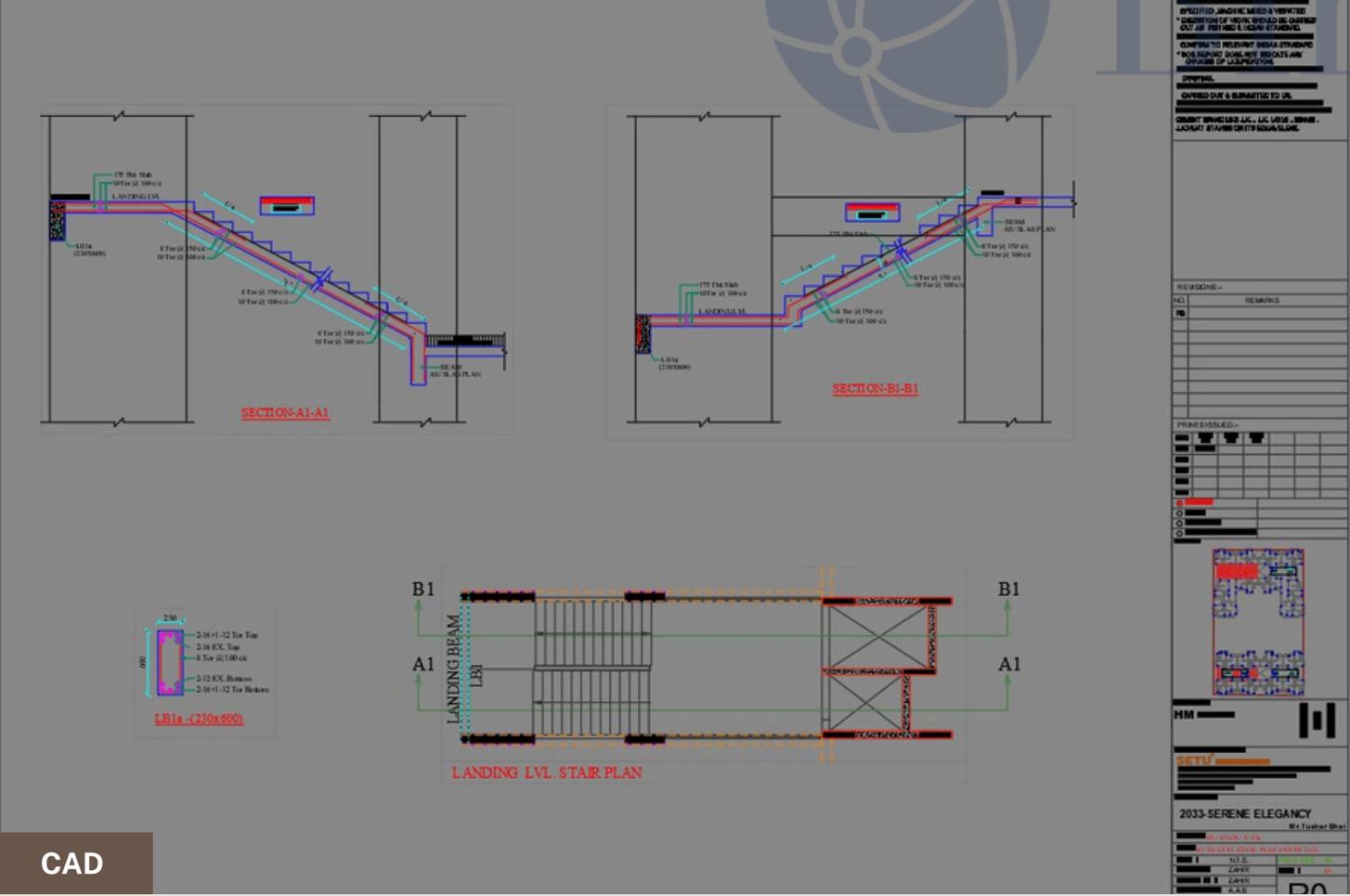


Block A & B Elevation

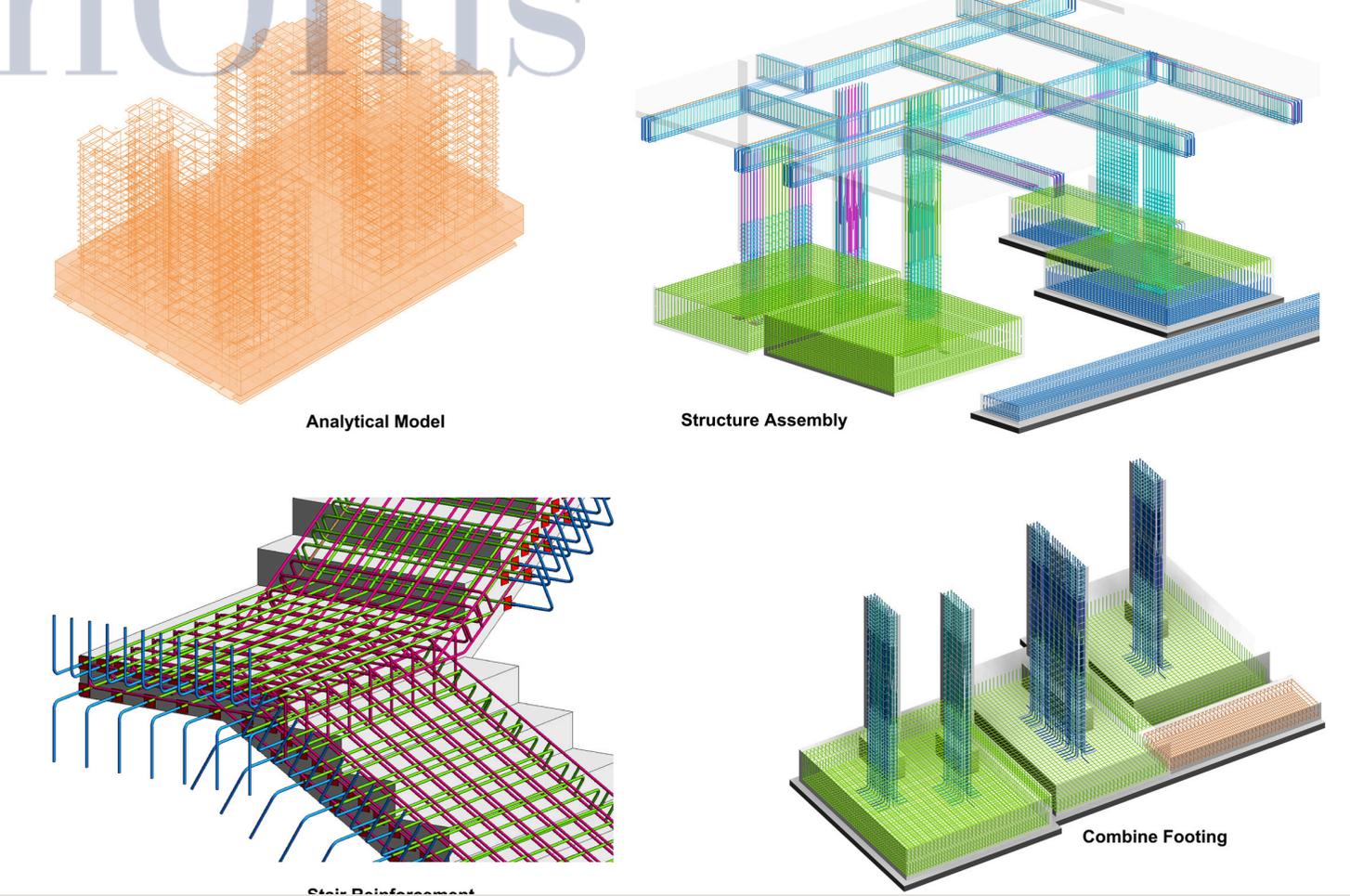
Block A & B Section Box View



Block A & B Floor Plan



CAD



Analytical Model

Structure Assembly

Stair Reinforcement

Combine Footing

# 13. Land Van Anna



**Fire Strategy Plan** to be used in conjunction with L101708-010 FIRE ALARMS LAYOUTS in appropriate form.

**Fire Strategy Key:**

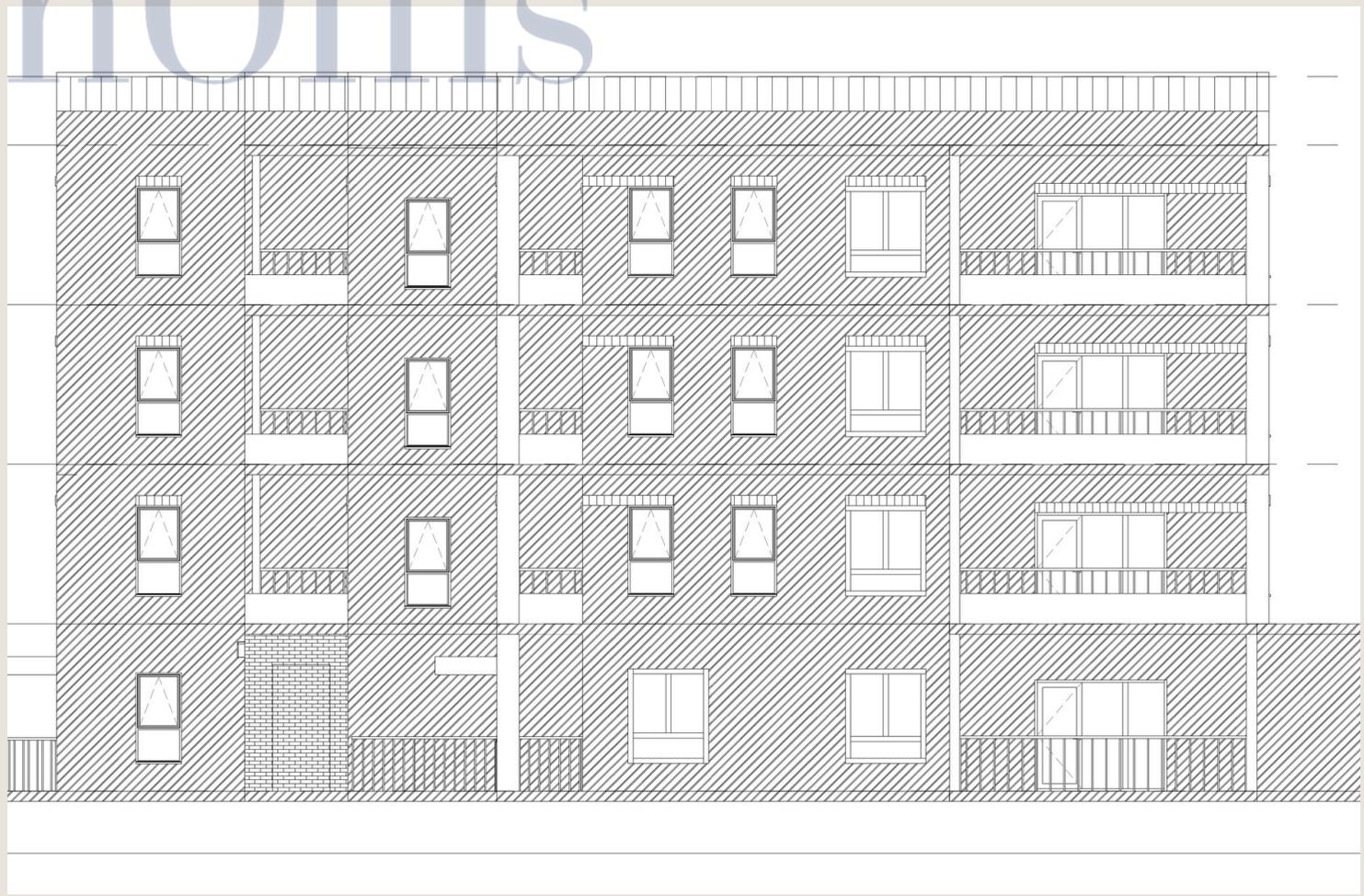
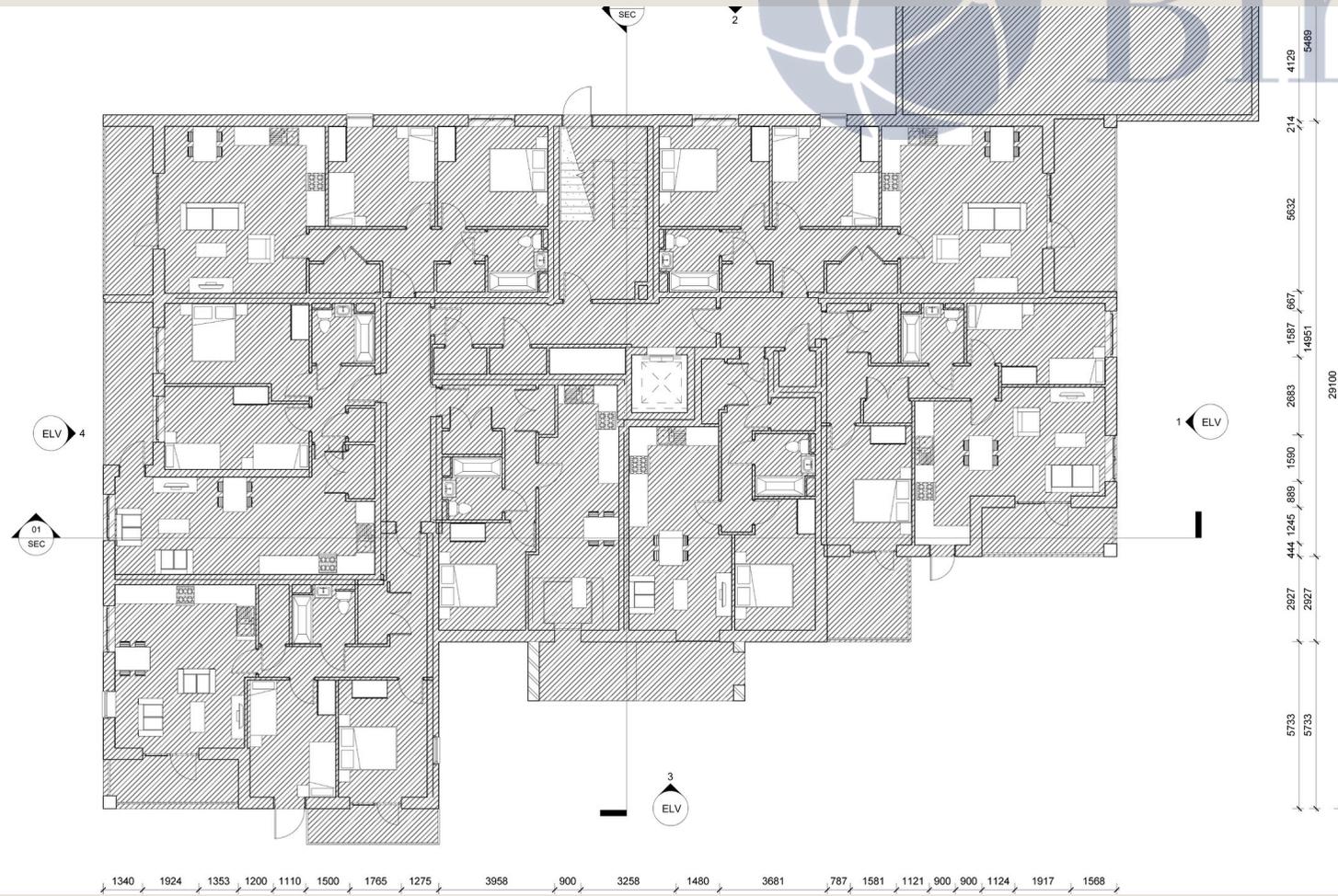
- Primary Escape Route
- Secondary Escape Route
- Smoke Free Passageway
- Smoke Free Enclosure
- Vertical Corridor Area
- Stair
- Stair Landing
- Stair Door
- Stair Door - 20 mins smoke alarm
- Stair Door - 30 mins smoke alarm
- Stair Door - 60 mins smoke alarm
- Stair Door - 90 mins smoke alarm
- Stair Door - 120 mins smoke alarm
- Stair Door - 150 mins smoke alarm
- Stair Door - 180 mins smoke alarm
- Stair Door - 210 mins smoke alarm
- Stair Door - 240 mins smoke alarm
- Stair Door - 270 mins smoke alarm
- Stair Door - 300 mins smoke alarm
- Stair Door - 330 mins smoke alarm
- Stair Door - 360 mins smoke alarm
- Stair Door - 390 mins smoke alarm
- Stair Door - 420 mins smoke alarm
- Stair Door - 450 mins smoke alarm
- Stair Door - 480 mins smoke alarm
- Stair Door - 510 mins smoke alarm
- Stair Door - 540 mins smoke alarm
- Stair Door - 570 mins smoke alarm
- Stair Door - 600 mins smoke alarm
- Stair Door - 630 mins smoke alarm
- Stair Door - 660 mins smoke alarm
- Stair Door - 690 mins smoke alarm
- Stair Door - 720 mins smoke alarm
- Stair Door - 750 mins smoke alarm
- Stair Door - 780 mins smoke alarm
- Stair Door - 810 mins smoke alarm
- Stair Door - 840 mins smoke alarm
- Stair Door - 870 mins smoke alarm
- Stair Door - 900 mins smoke alarm
- Stair Door - 930 mins smoke alarm
- Stair Door - 960 mins smoke alarm
- Stair Door - 990 mins smoke alarm
- Stair Door - 1020 mins smoke alarm
- Stair Door - 1050 mins smoke alarm
- Stair Door - 1080 mins smoke alarm
- Stair Door - 1110 mins smoke alarm
- Stair Door - 1140 mins smoke alarm
- Stair Door - 1170 mins smoke alarm
- Stair Door - 1200 mins smoke alarm
- Stair Door - 1230 mins smoke alarm
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- Stair Door - 1380 mins smoke alarm
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- Stair Door - 1440 mins smoke alarm
- Stair Door - 1470 mins smoke alarm
- Stair Door - 1500 mins smoke alarm
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- Stair Door - 1890 mins smoke alarm
- Stair Door - 1920 mins smoke alarm
- Stair Door - 1950 mins smoke alarm
- Stair Door - 1980 mins smoke alarm
- Stair Door - 2010 mins smoke alarm
- Stair Door - 2040 mins smoke alarm
- Stair Door - 2070 mins smoke alarm
- Stair Door - 2100 mins smoke alarm
- Stair Door - 2130 mins smoke alarm
- Stair Door - 2160 mins smoke alarm
- Stair Door - 2190 mins smoke alarm
- Stair Door - 2220 mins smoke alarm
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- Stair Door - 2280 mins smoke alarm
- Stair Door - 2310 mins smoke alarm
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- Stair Door - 2370 mins smoke alarm
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- Stair Door - 2430 mins smoke alarm
- Stair Door - 2460 mins smoke alarm
- Stair Door - 2490 mins smoke alarm
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- Stair Door - 2580 mins smoke alarm
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- Stair Door - 2640 mins smoke alarm
- Stair Door - 2670 mins smoke alarm
- Stair Door - 2700 mins smoke alarm
- Stair Door - 2730 mins smoke alarm
- Stair Door - 2760 mins smoke alarm
- Stair Door - 2790 mins smoke alarm
- Stair Door - 2820 mins smoke alarm
- Stair Door - 2850 mins smoke alarm
- Stair Door - 2880 mins smoke alarm
- Stair Door - 2910 mins smoke alarm
- Stair Door - 2940 mins smoke alarm
- Stair Door - 2970 mins smoke alarm
- Stair Door - 3000 mins smoke alarm



| No. | Description                       | Date     | By | Check | Notes |
|-----|-----------------------------------|----------|----|-------|-------|
| 001 | PROVISIONAL BILLING               | 18.12.22 | CA | CA    |       |
| 002 | 10% bills added/ revised drawings | 18.12.22 | CA | CA    |       |

|                               |                   |
|-------------------------------|-------------------|
| Project number                | 23/204            |
| Date                          | 22.09.23          |
| Drawn by                      | CA                |
| Checked by                    |                   |
| Drawing No.                   | 6103              |
| <b>Fire Second Floor Plan</b> |                   |
| At Scale                      | 1:75 Revision C01 |



# 14. Machinex Hub

**Schnitt A-A Section A-A**

**Schnitt C-C Section C-C**

**Schnitt B-B Section B-B**

**KEY/LEGENCE**

**CAD**

PLANS, MEASURES, HEIGHTS AND EXISTING STRUCTURE HAVE TO BE CHECKED RESPONSIBLY BY THE CONTRACTOR BEFORE START OF WORK. MEASURES FOR BUILT-IN UNITS HAVE TO BE TAKEN ON SITE. EXECUTION OF WORK ONLY CORRESPONDING TO THE INSTRUCTIONS OF TECHNICAL DESIGNERS. ANY DISCREPANCIES HAVE TO BE CLEARED WITH THE CONSTRUCTION SUPERVISOR BEFORE START OF WORK.

NOTE: ALL DIMENSIONS ARE IN MM.

**SITE PLAN**

**Project Details**

1028 Clay Kaserne  
Wiesbaden

**FLOOR PLAN & SECTIONS**

Project number: B01P  
Date: 28-12-2023  
Drawn by:  
Checked by:  
Scale: 1 : 100

**Room Schedule**

| Number | Name     | Area              |
|--------|----------|-------------------|
| 100A   | Entrance | 6 m <sup>2</sup>  |
| 100B   | Hall     | 43 m <sup>2</sup> |
| 100C   | Hall     | 16 m <sup>2</sup> |
| 100D   | Hall     | 9 m <sup>2</sup>  |
| 100E   | Entrance | 11 m <sup>2</sup> |
| 101    | Office   | 17 m <sup>2</sup> |
| 102    | Office   | 15 m <sup>2</sup> |
| 103    | Commo    | 8 m <sup>2</sup>  |
| 104    | Office   | 10 m <sup>2</sup> |
| 105    | Office   | 16 m <sup>2</sup> |
| 106    | Vault    | 15 m <sup>2</sup> |
| 107    | Latrine  | 9 m <sup>2</sup>  |
| 108    | Latrine  | 9 m <sup>2</sup>  |
| 109    | Office   | 18 m <sup>2</sup> |
| 110    | Office   | 30 m <sup>2</sup> |
| 111    | Office   | 28 m <sup>2</sup> |
| 112    | Office   | 18 m <sup>2</sup> |
| 113    | Office   | 18 m <sup>2</sup> |
| 114    | Office   | 18 m <sup>2</sup> |
| 115    | Office   | 18 m <sup>2</sup> |
| 116    | Office   | 12 m <sup>2</sup> |
| 117    | Office   | 15 m <sup>2</sup> |
| 118    | Office   | 43 m <sup>2</sup> |
| 119    | Office   | 61 m <sup>2</sup> |
| 119A   | Office   | 19 m <sup>2</sup> |
| 119B   | Office   | 12 m <sup>2</sup> |

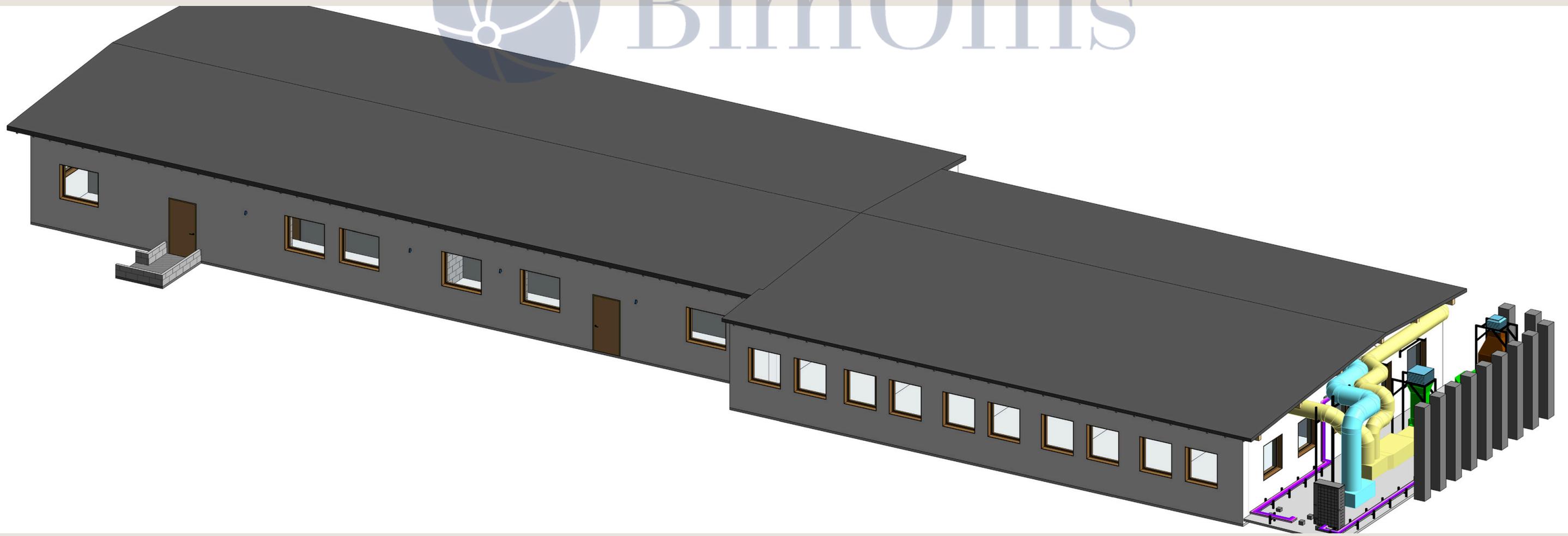
**LEGEND**

- EXTERNAL WALL
- INTERNAL WALL
- RAAF FLOOR
- INTERNAL FLOOR
- SECTION HEAD/TAIL
- SPOT ELEVATION HEAD
- Elevation in: LEVEL HEAD
- Name: SPOT SLOPE

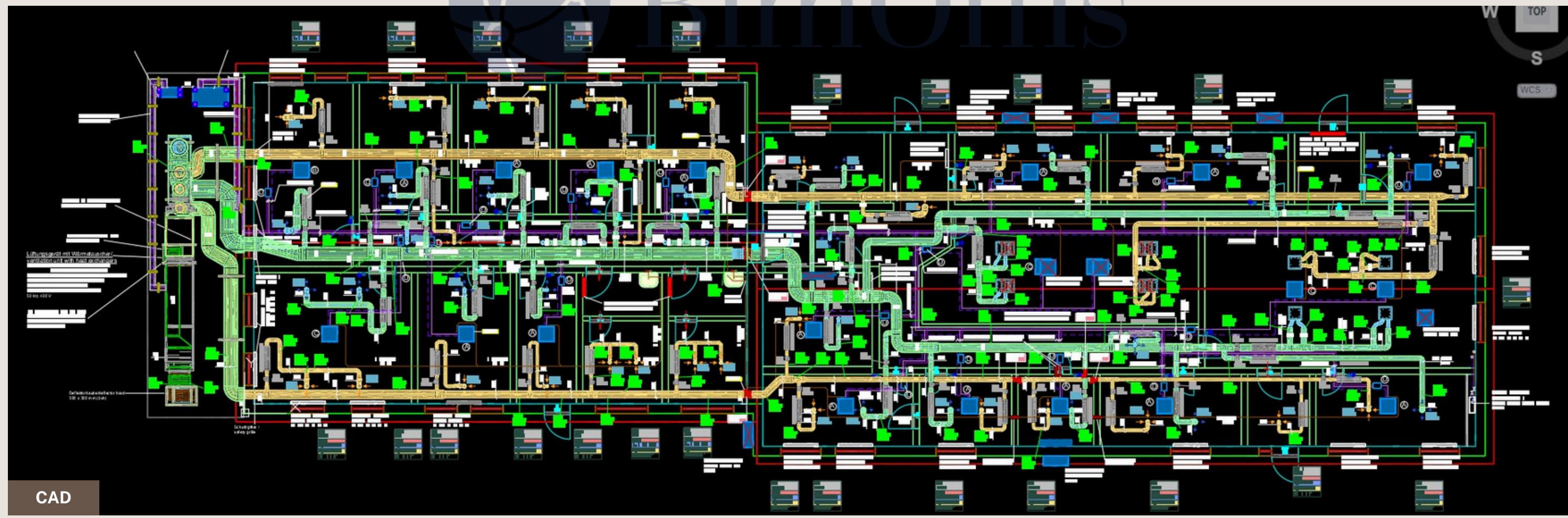
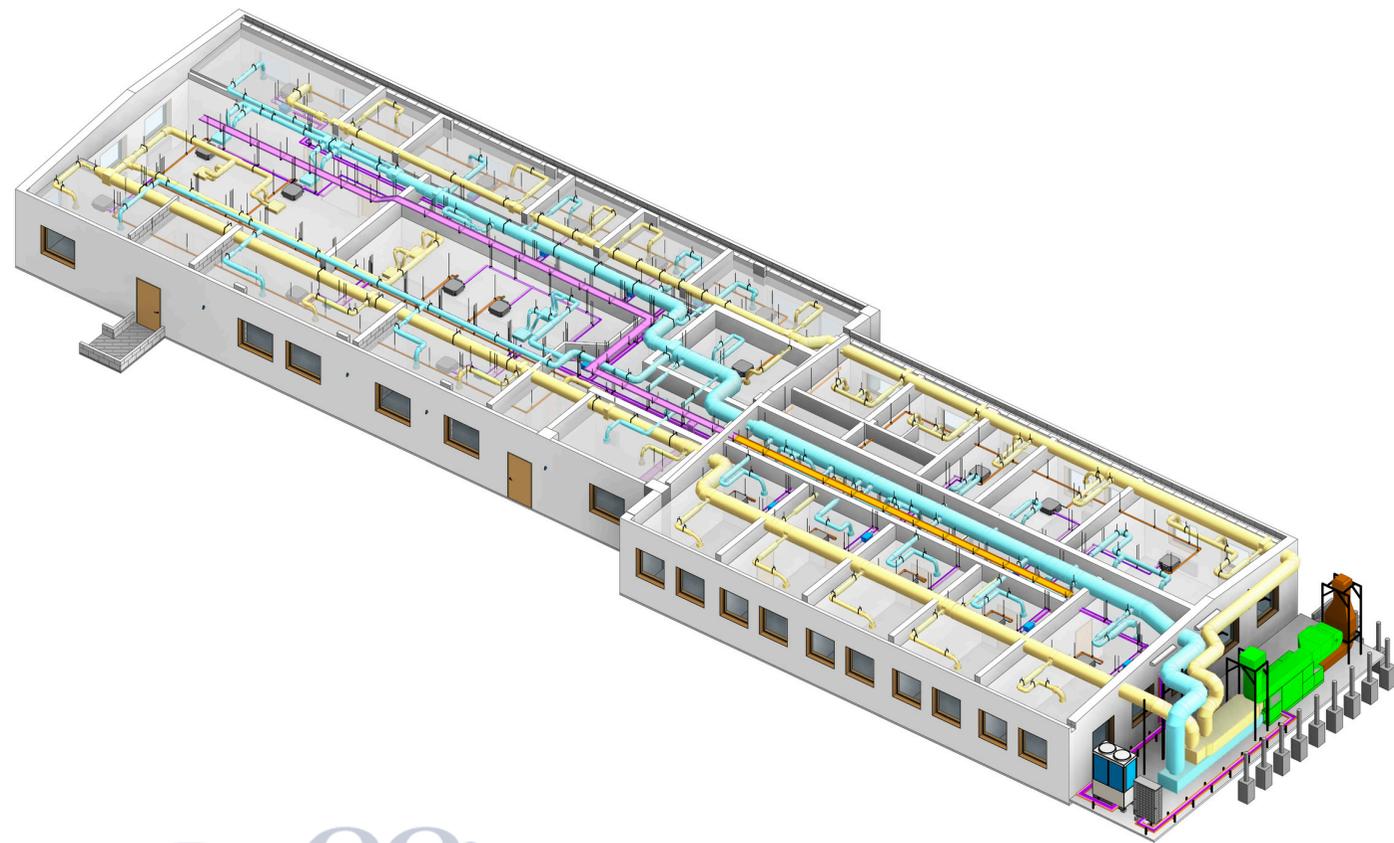
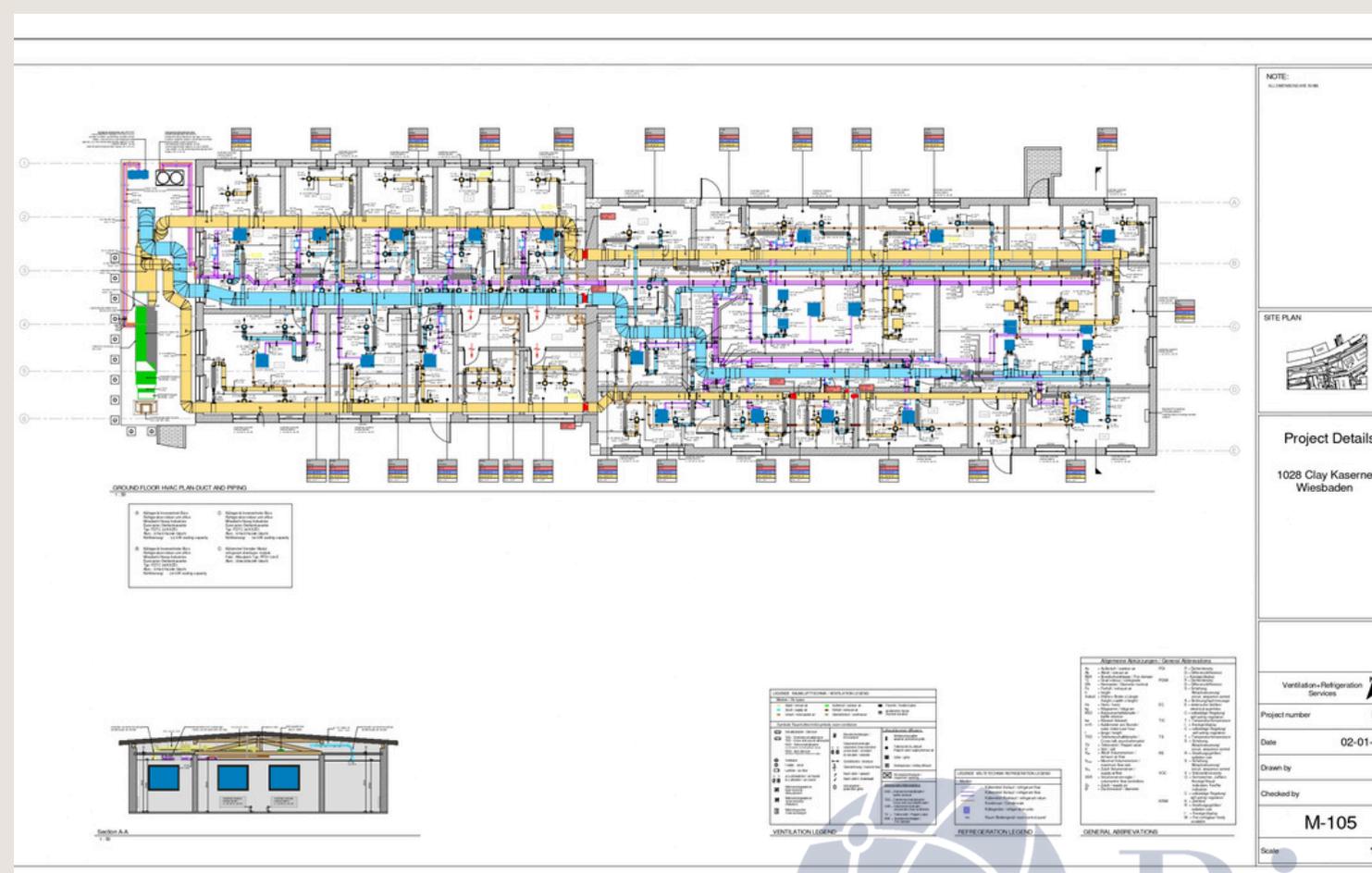
**Ground Floor**  
1:100

**Section A**  
1:100

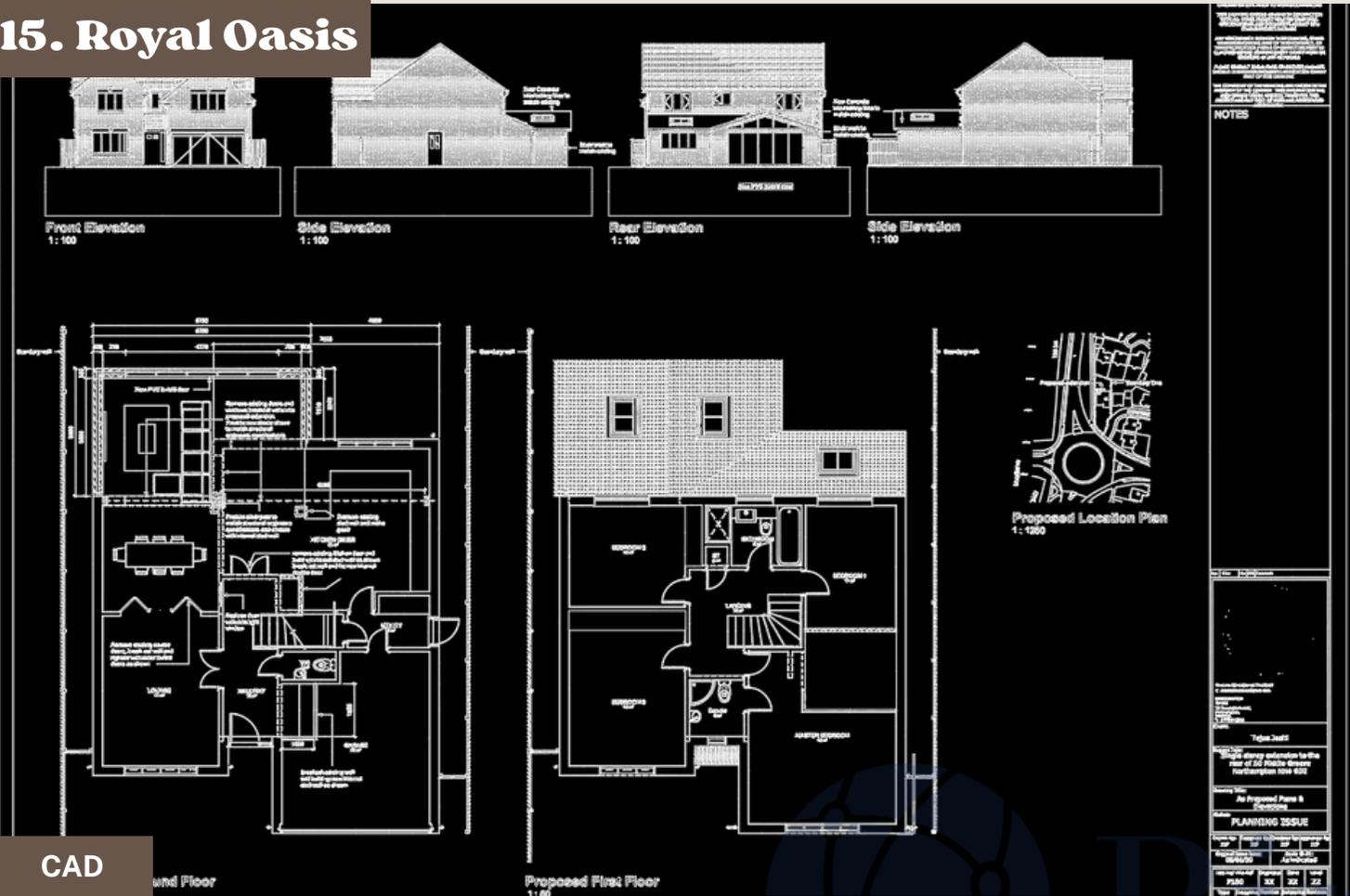
**Section B**  
1:100



bimOffis



# 15. Royal Oasis



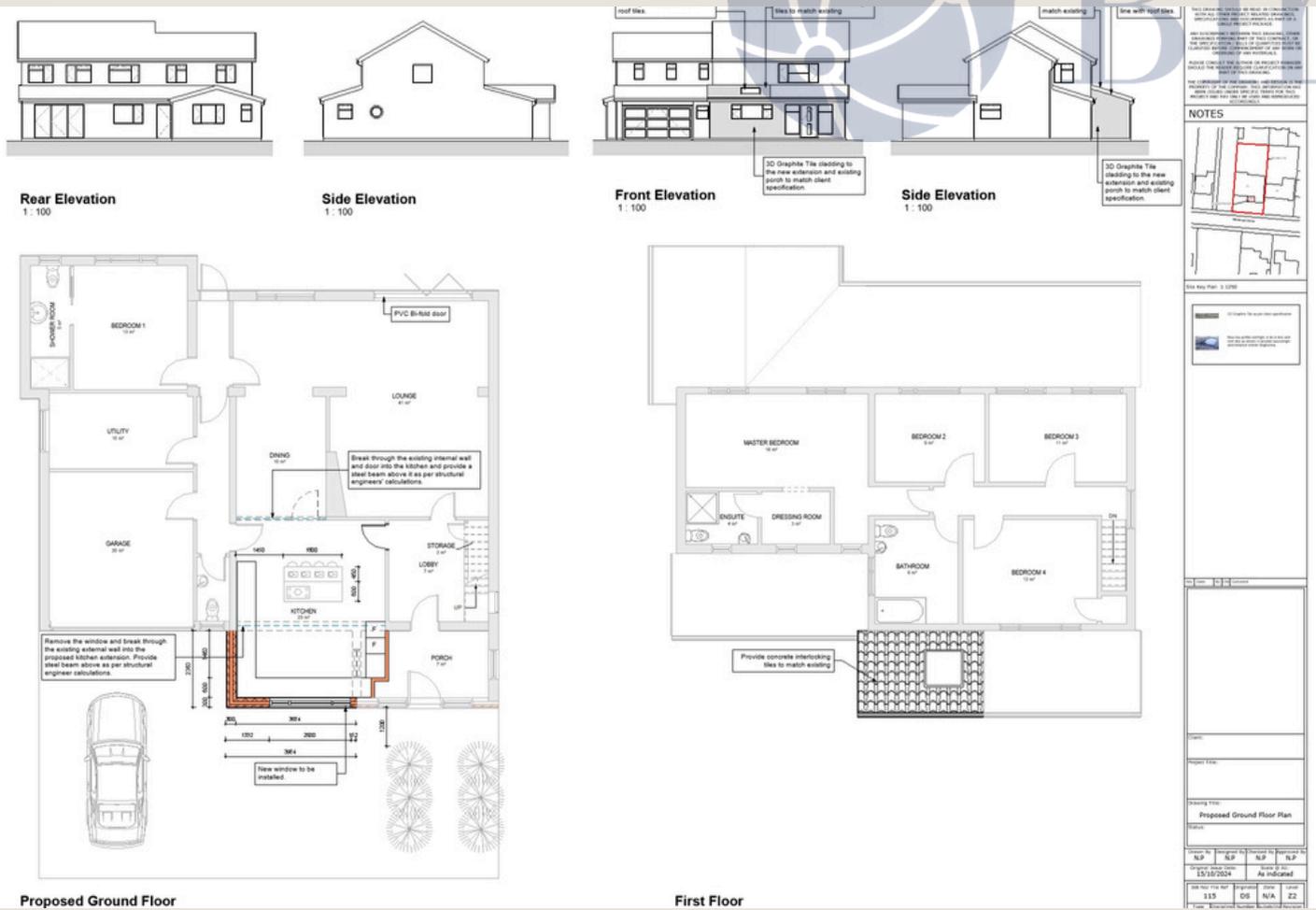
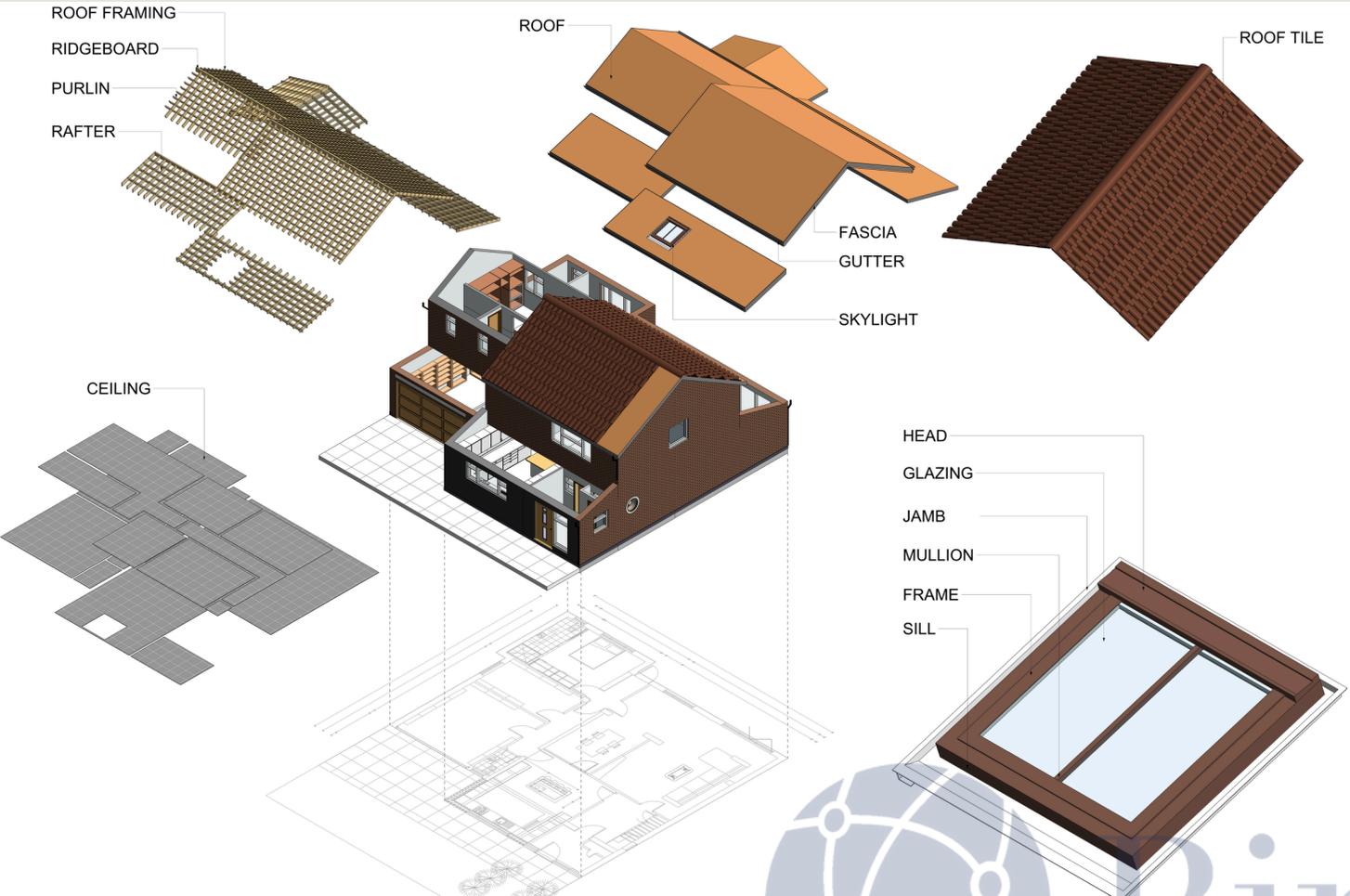
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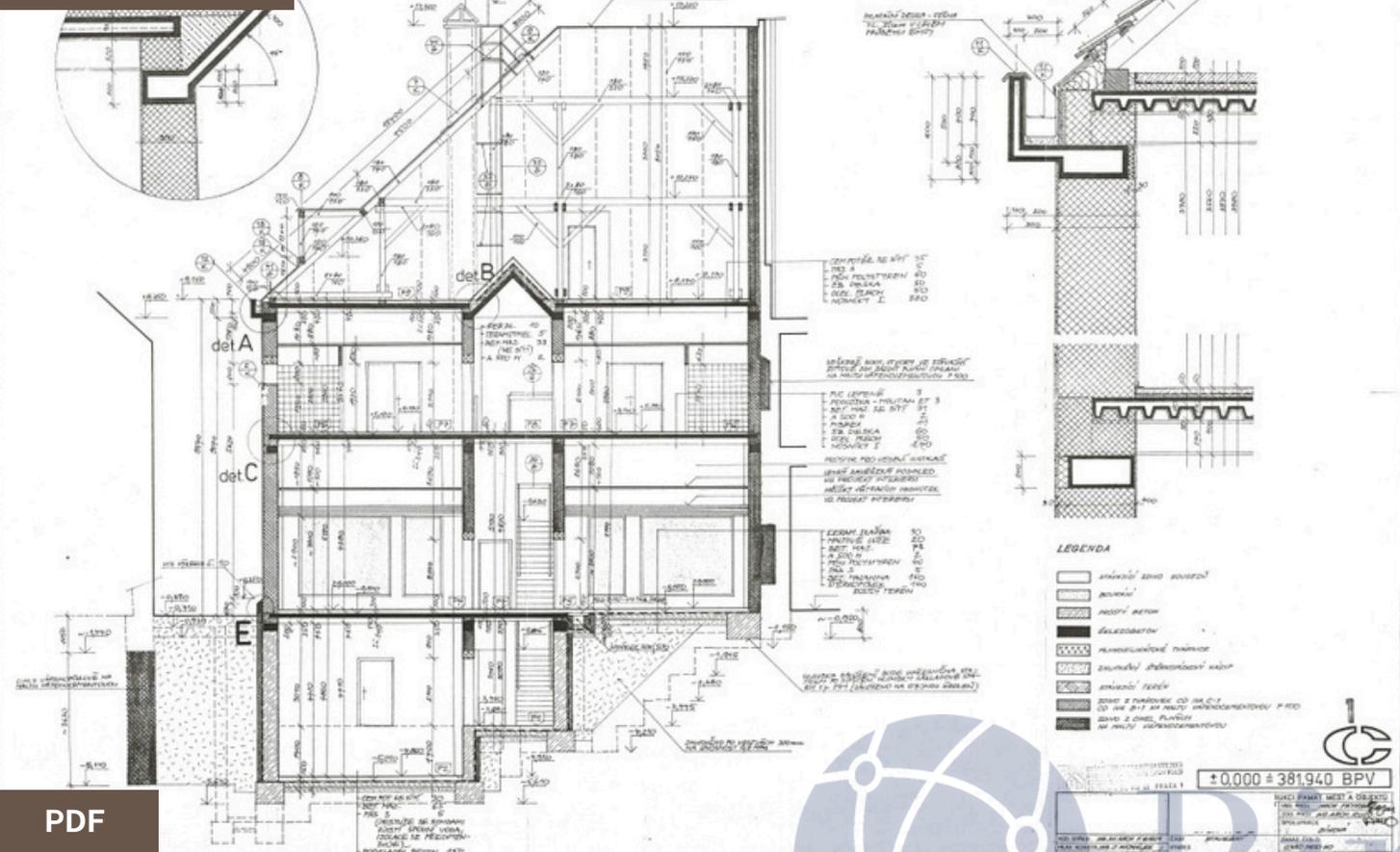
IMAGE



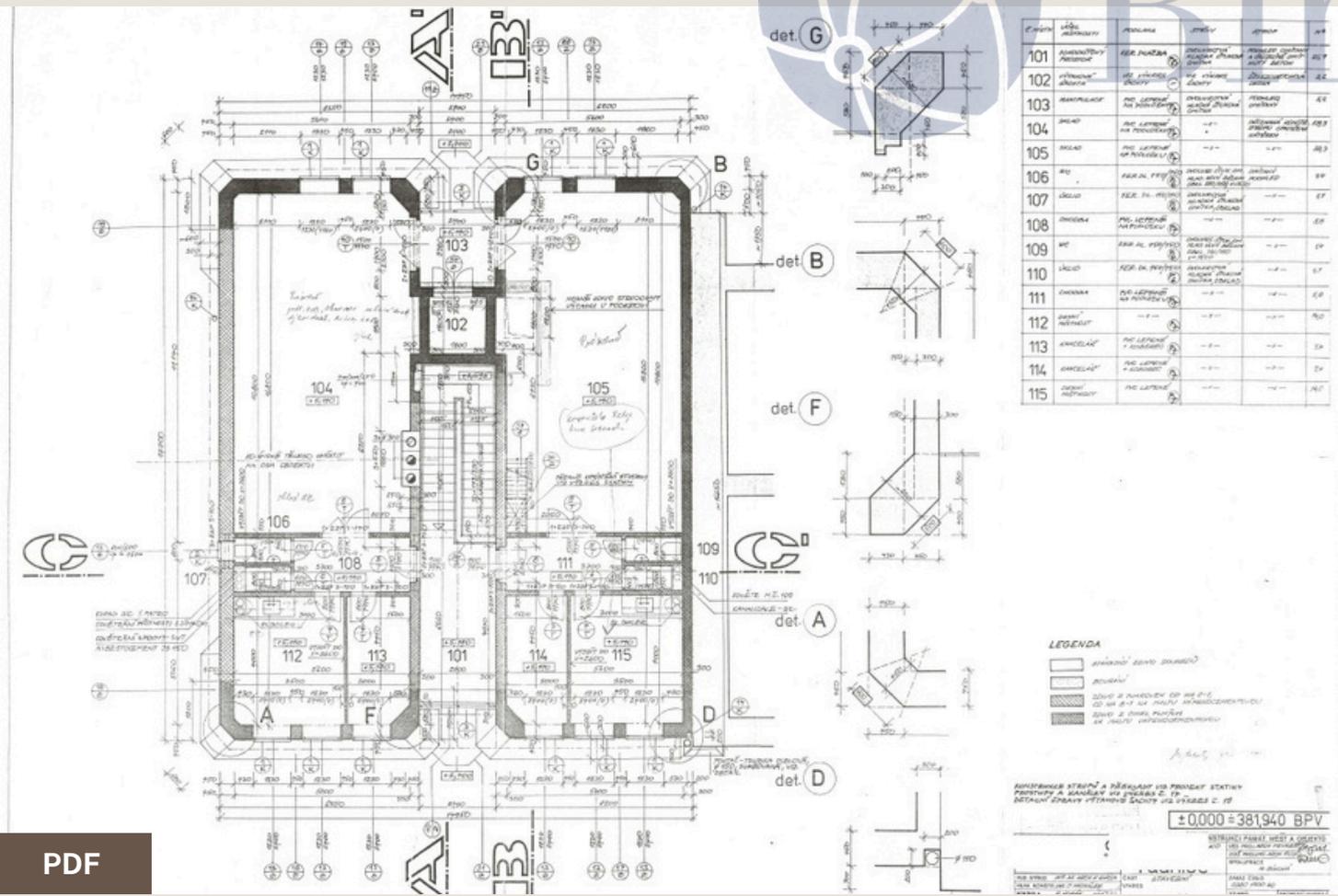
IMAGE



16. Zasilka



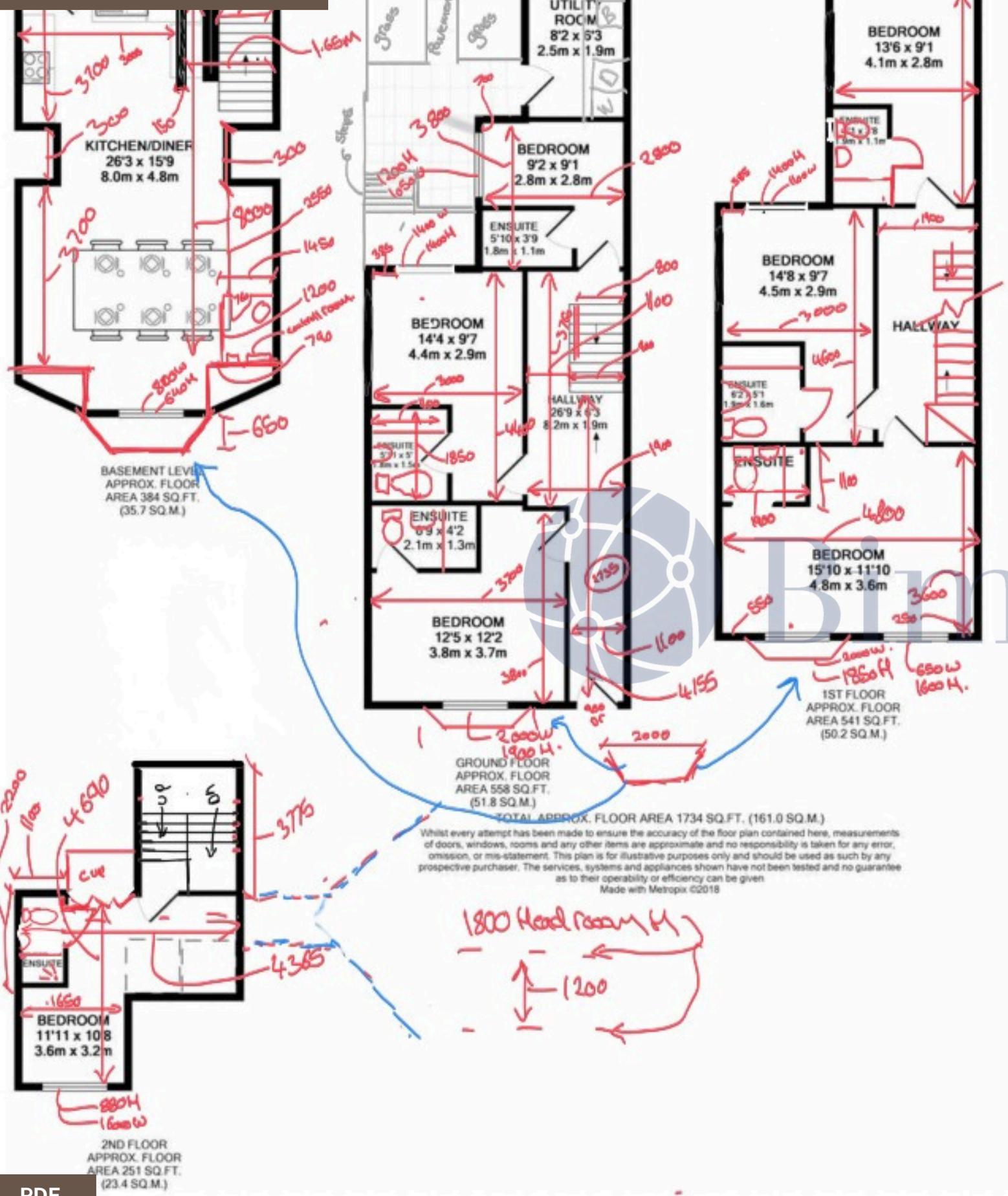
PDF

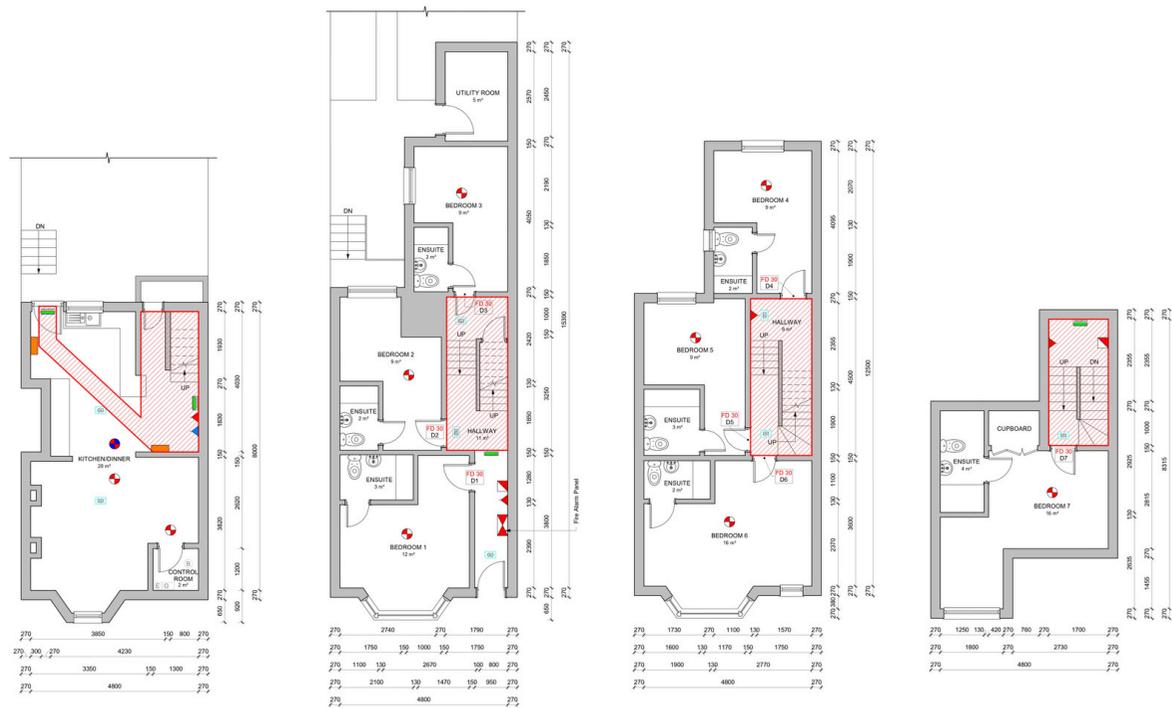


PDF



# 17. Semilong House





**Basement Floor Plan**  
1: 50

**Ground Floor Plan**  
1: 50

**First Floor Plan**  
1: 50

**Second Floor Plan**  
1: 50

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PLEASE CHECK THE SCALE OF THIS DRAWING AGAINST THE SCALE OF THE ORIGINAL DRAWING AS SHOWN ON THE DRAWING.

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**NOTES**

**FIRE LEGEND**

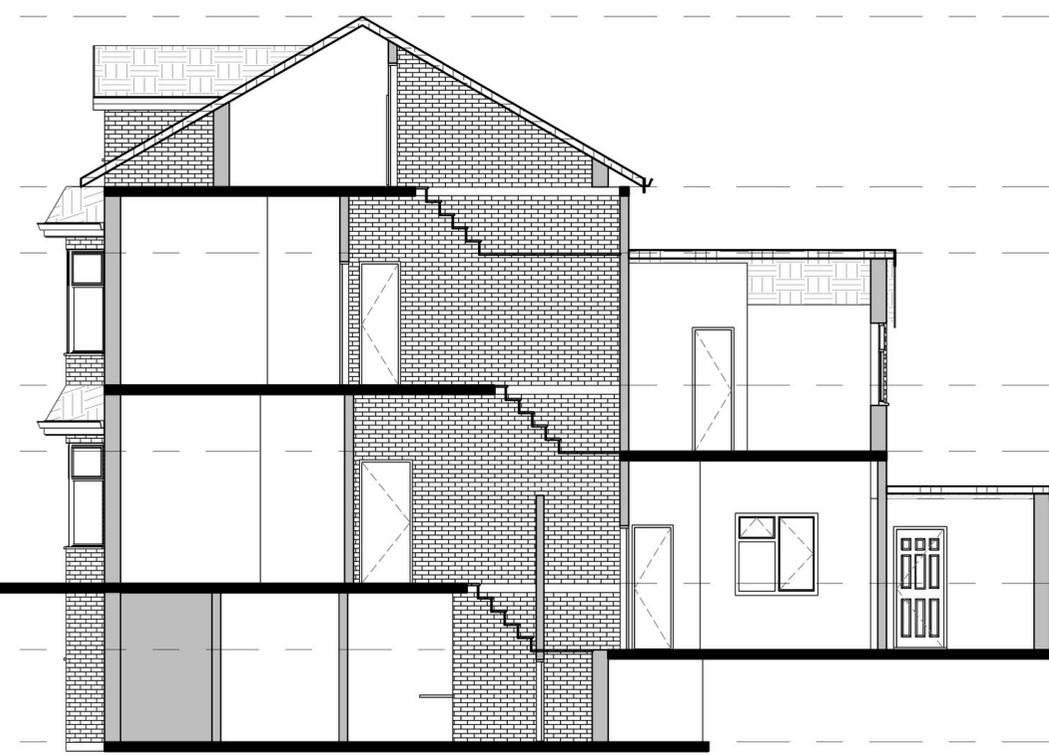
- Fire Alarm Detector
- Fire Alarm Detector & Sounder
- Fire Alarm Panel
- Fire Blanket
- Fire Escape Sign
- CO2 Extinguisher
- ELV Water Extinguisher
- Emergency Light
- Call Point
- Escape Routes

Client: 78 Semilong  
Project Title: Floor Plans  
Drawing Title: Floor Plans  
Status:   
Drawn By:   
Checked By:   
Original Date: 14/03/24  
Scale: 1:50  
Job No: 78 Semilong  
Drawing: 01  
Level: DS  
N/A  
ZL  
Type:   
Date:   
Number:   
Revision:

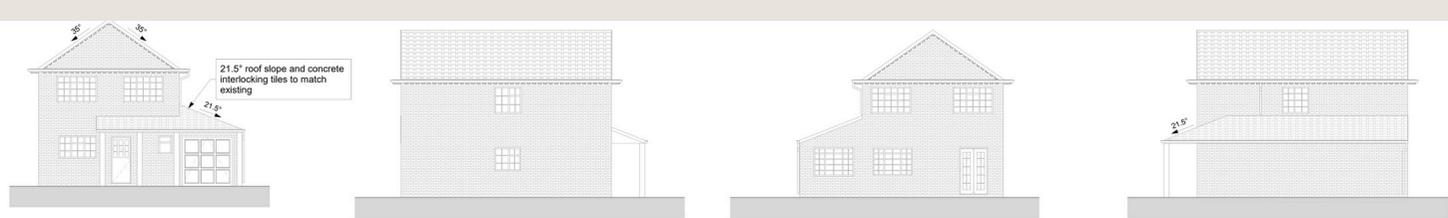
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- ▼ Second Floor 6750
- ▼ I 5625
- ▼ First Floor 3375
- ▼ k 2250
- ▼ Ground Floor 0
- ▼ i -1125
- ▼ Basement Level -2700



- ▼ m 9650
- ▼ Second Floor 6750
- ▼ I 5625
- ▼ First Floor 3375
- ▼ k 2250
- ▼ Ground Floor 0
- ▼ i -1125
- ▼ Basement Level -2700





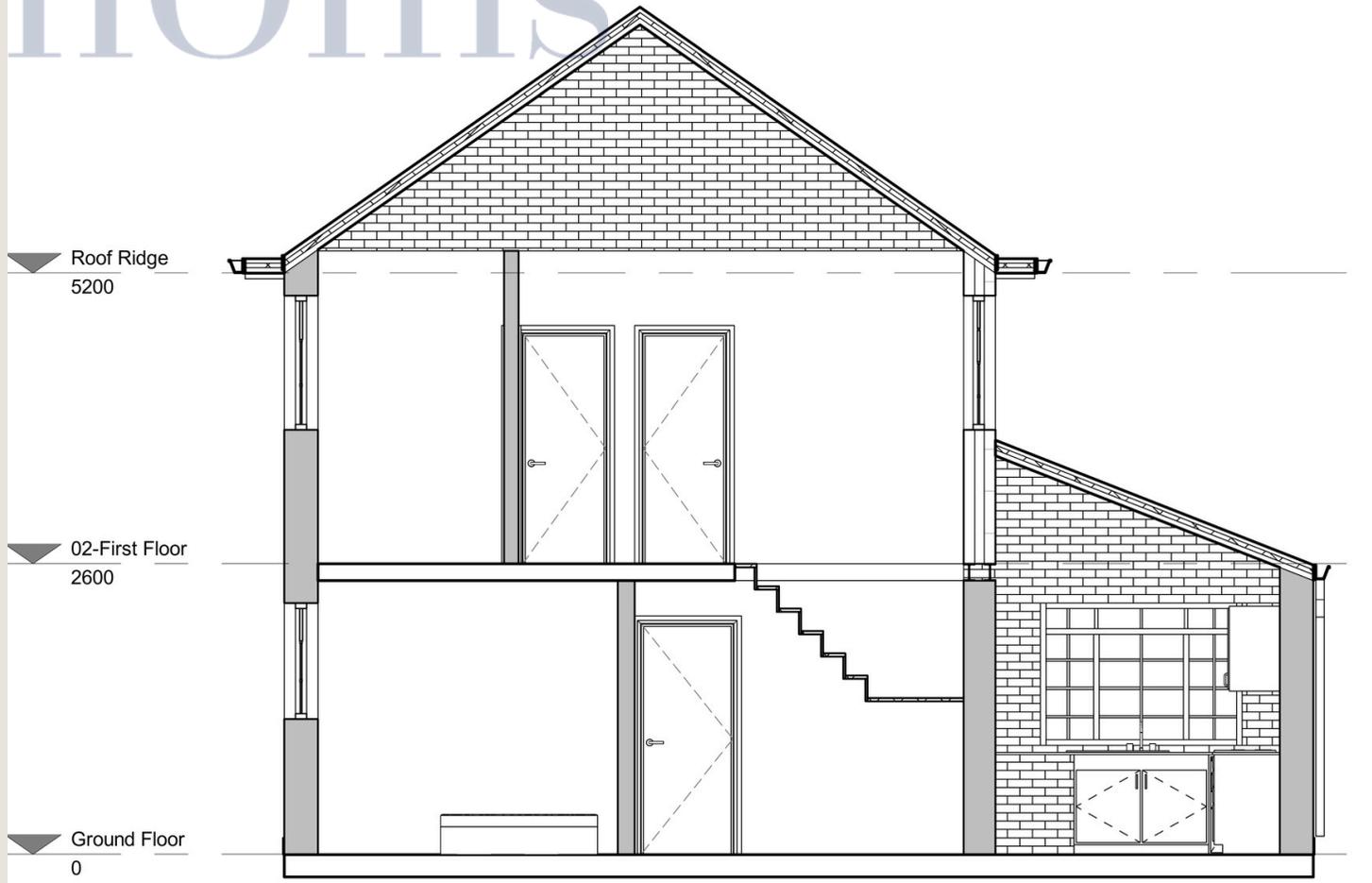
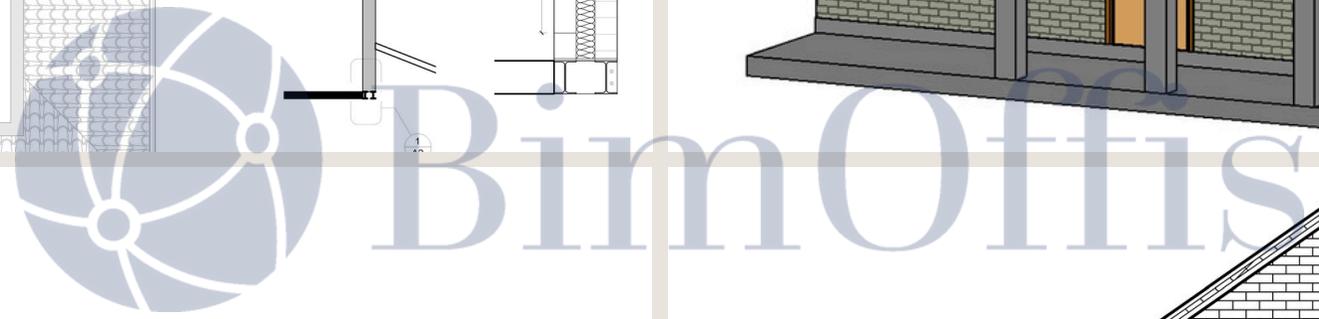
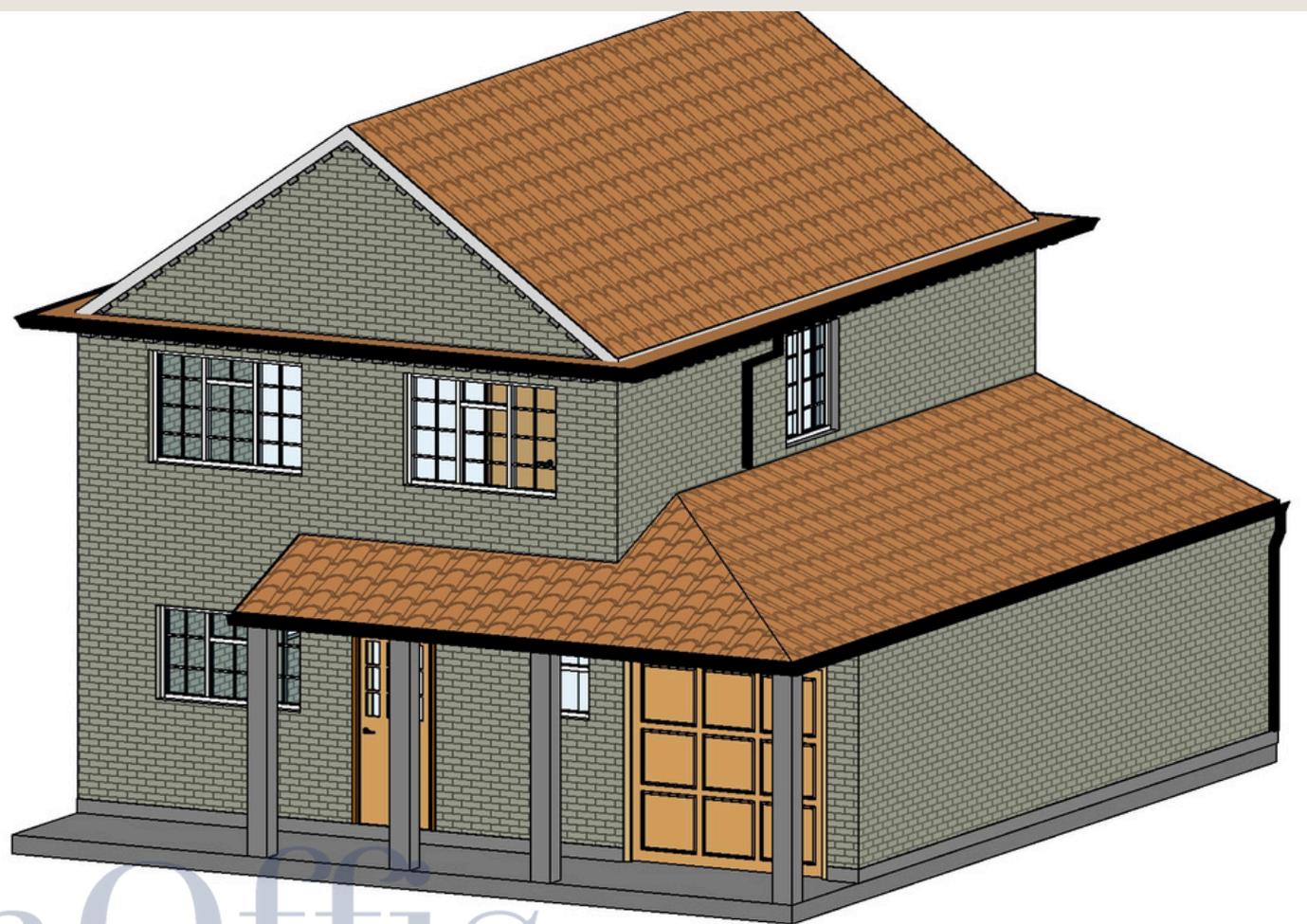
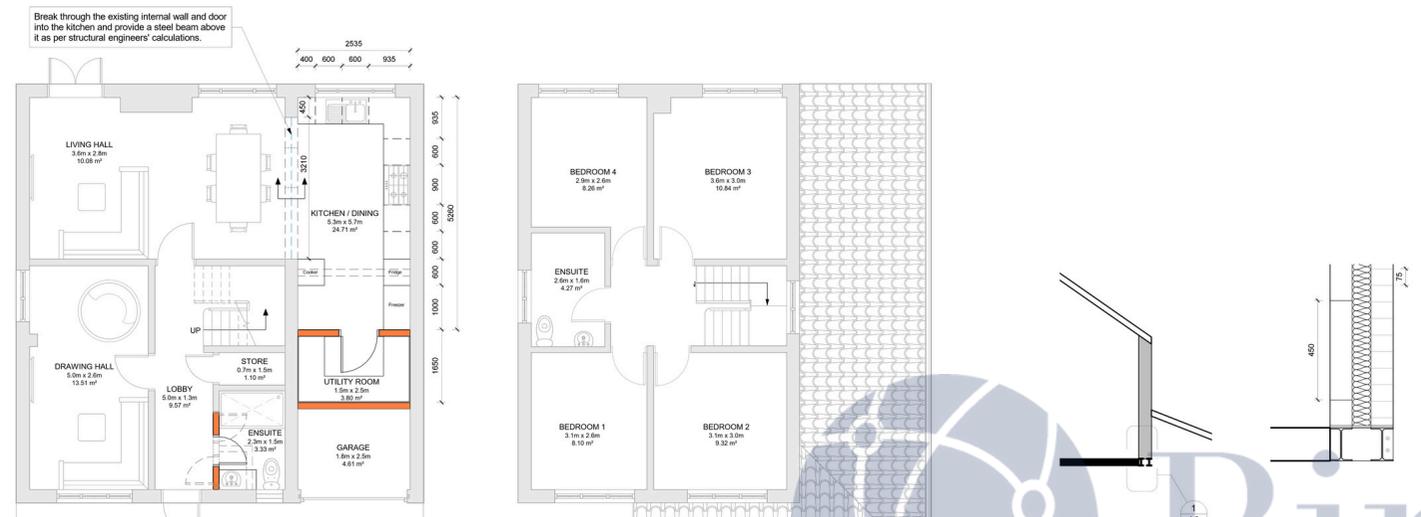


**Proposed Front Elevation**  
1 : 100

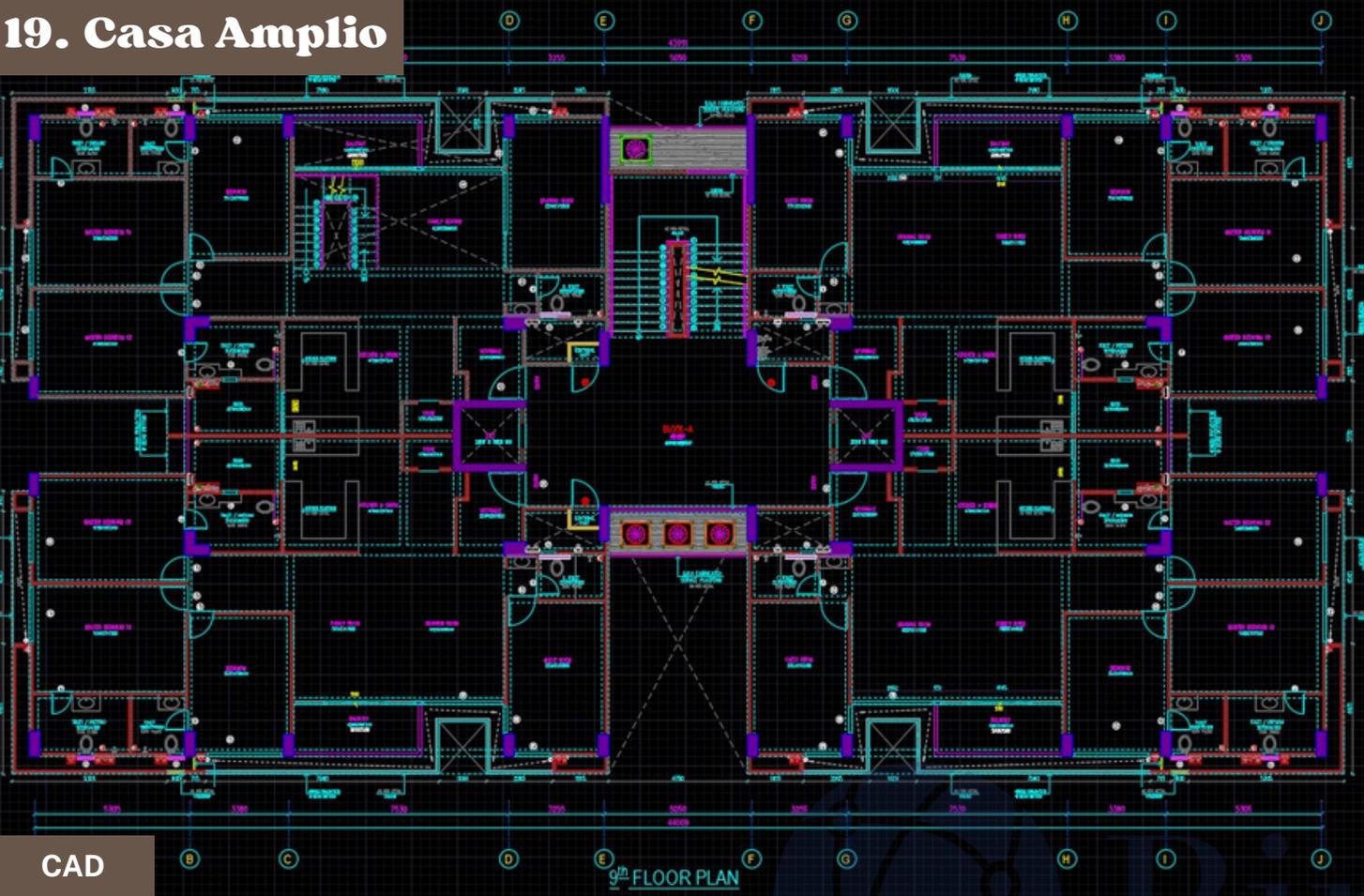
**Proposed Left Elevation**  
1 : 100

**Proposed Rear Elevation**  
1 : 100

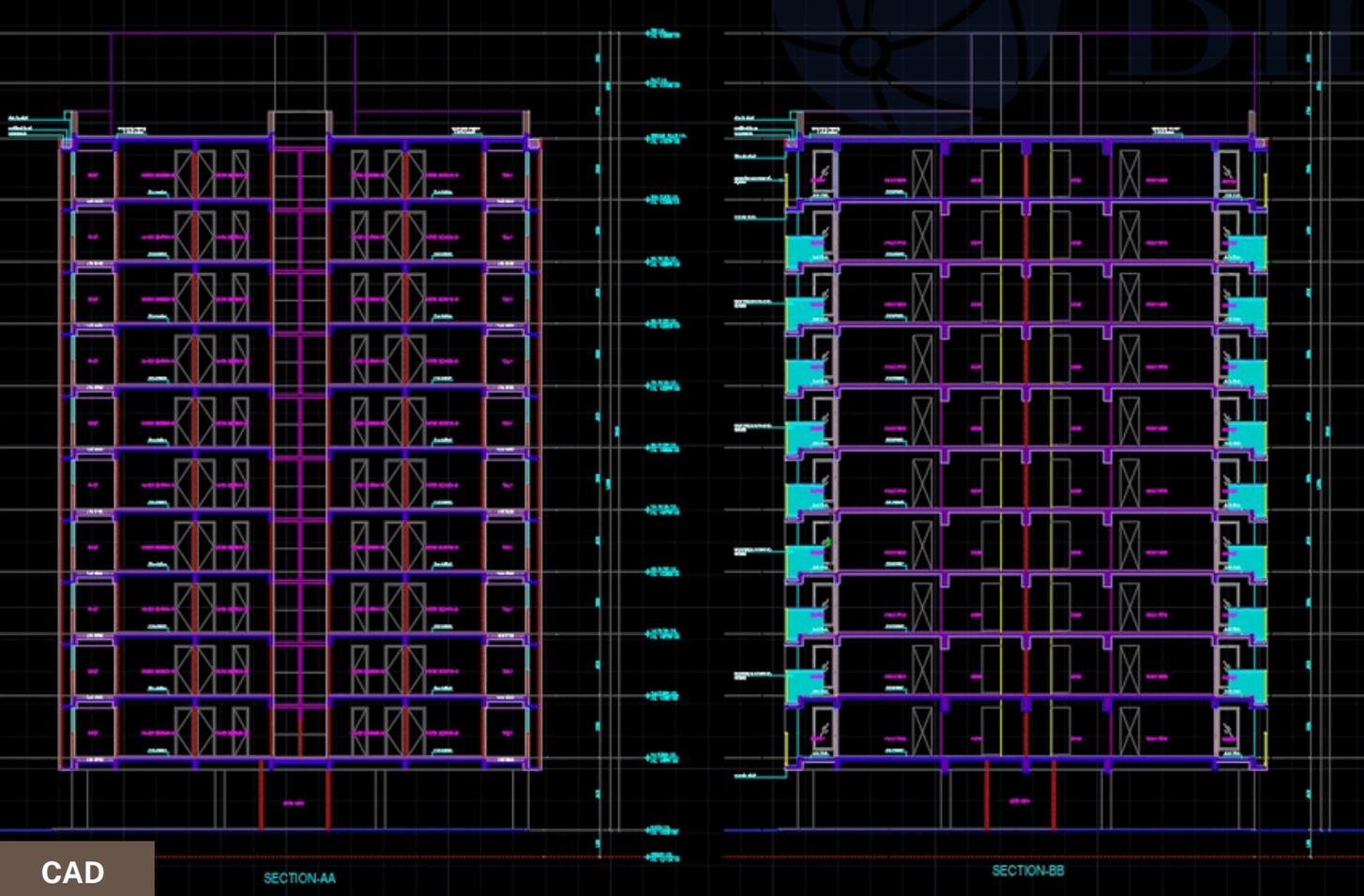
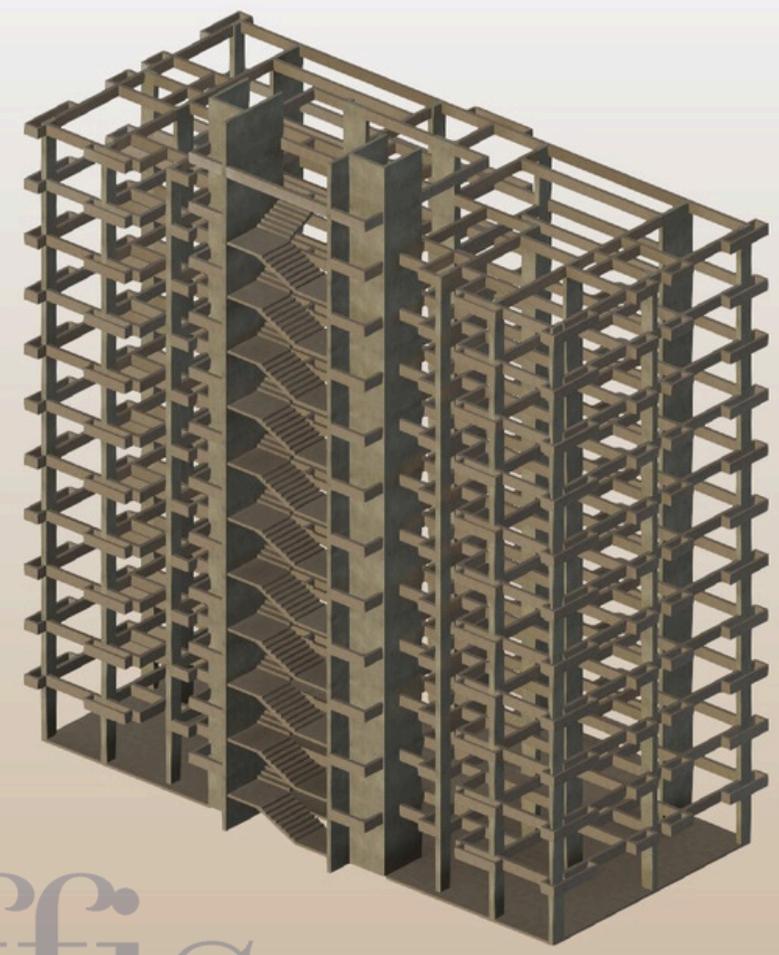
**Proposed Right Elevation**  
1 : 100



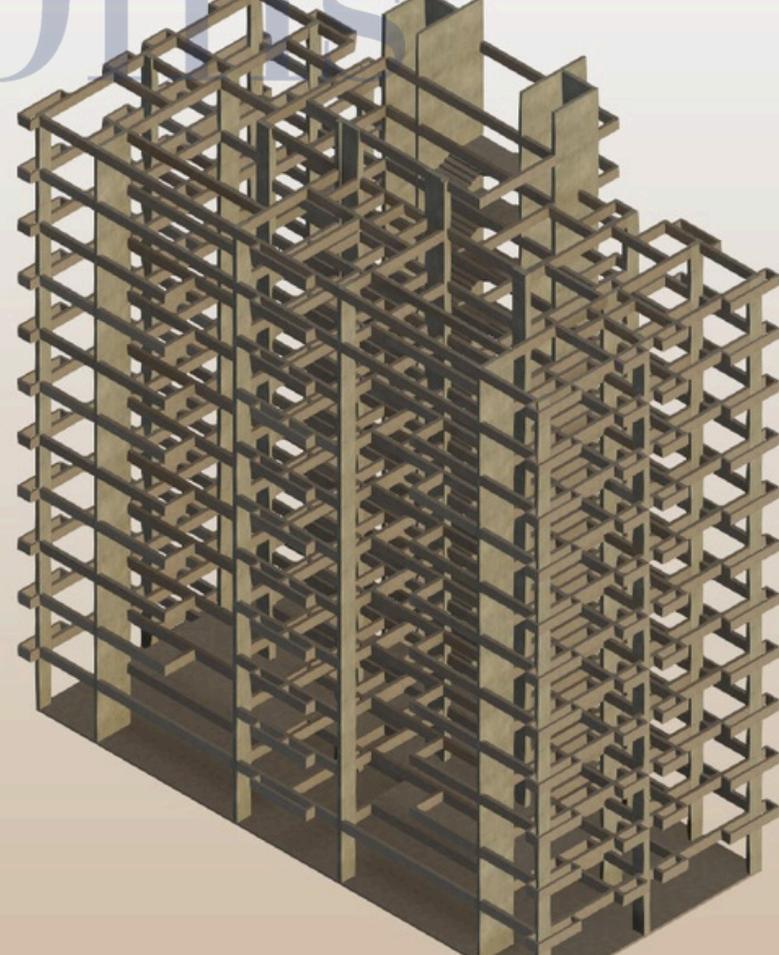
# 19. Casa Amplio



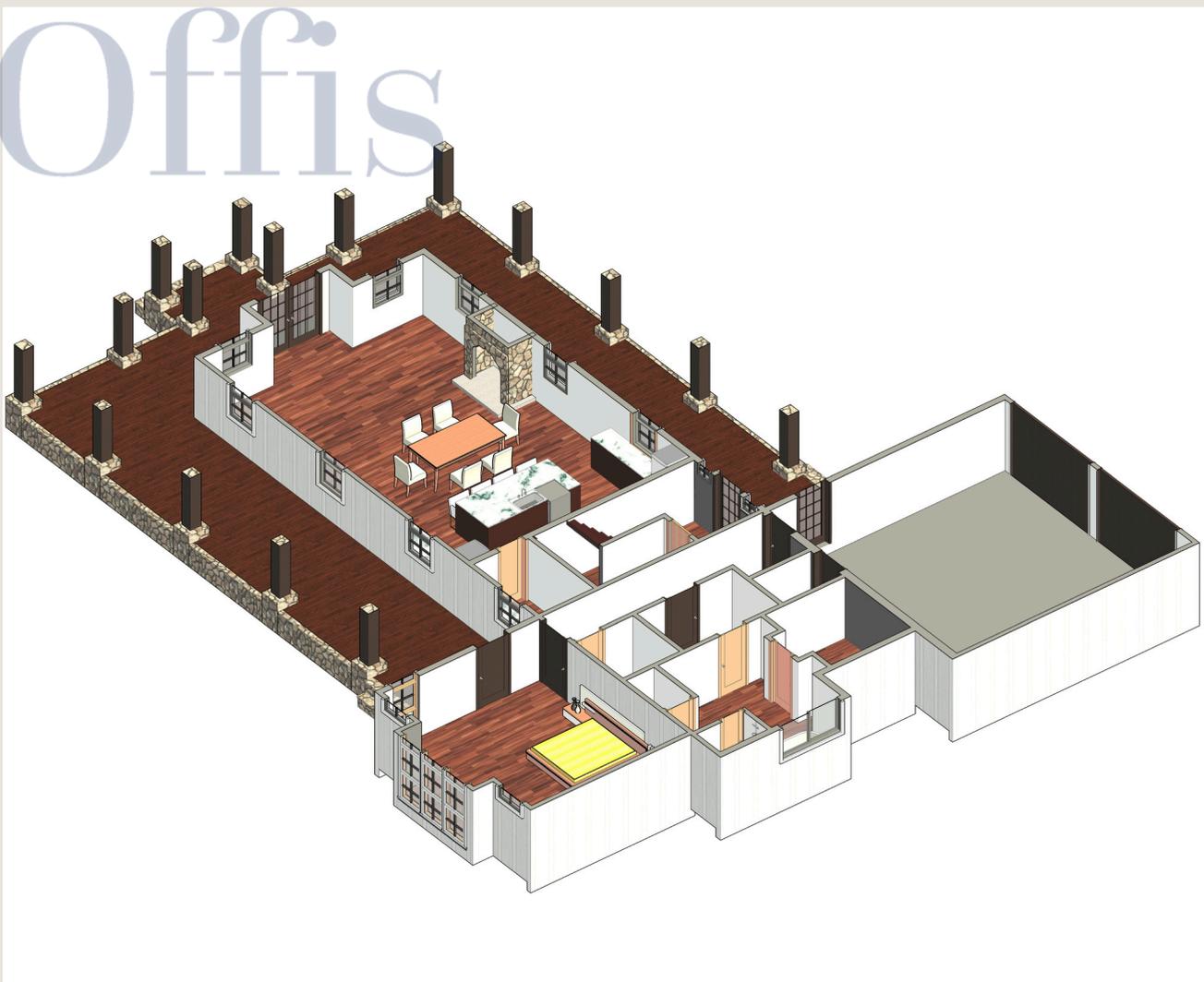
CAD



CAD



20. Homestrada Villa



# Let's Connect With Us!

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(+91) 95868 77788

(+91) 70168 37252



(+1) 623-250-6919



contact@bimoffis.com



www.bimoffis.com

## AHMEDABAD, INDIA

507, Times Square Arcade 1,  
Thaltej - Shilaj Rd, opp.  
Rambaug, Thaltej, Ahmedabad,  
Gujarat 380059

## USA

25 Doris Dr Scarsdale, NY  
10583, USA